CITY OF MERCER ISLAND





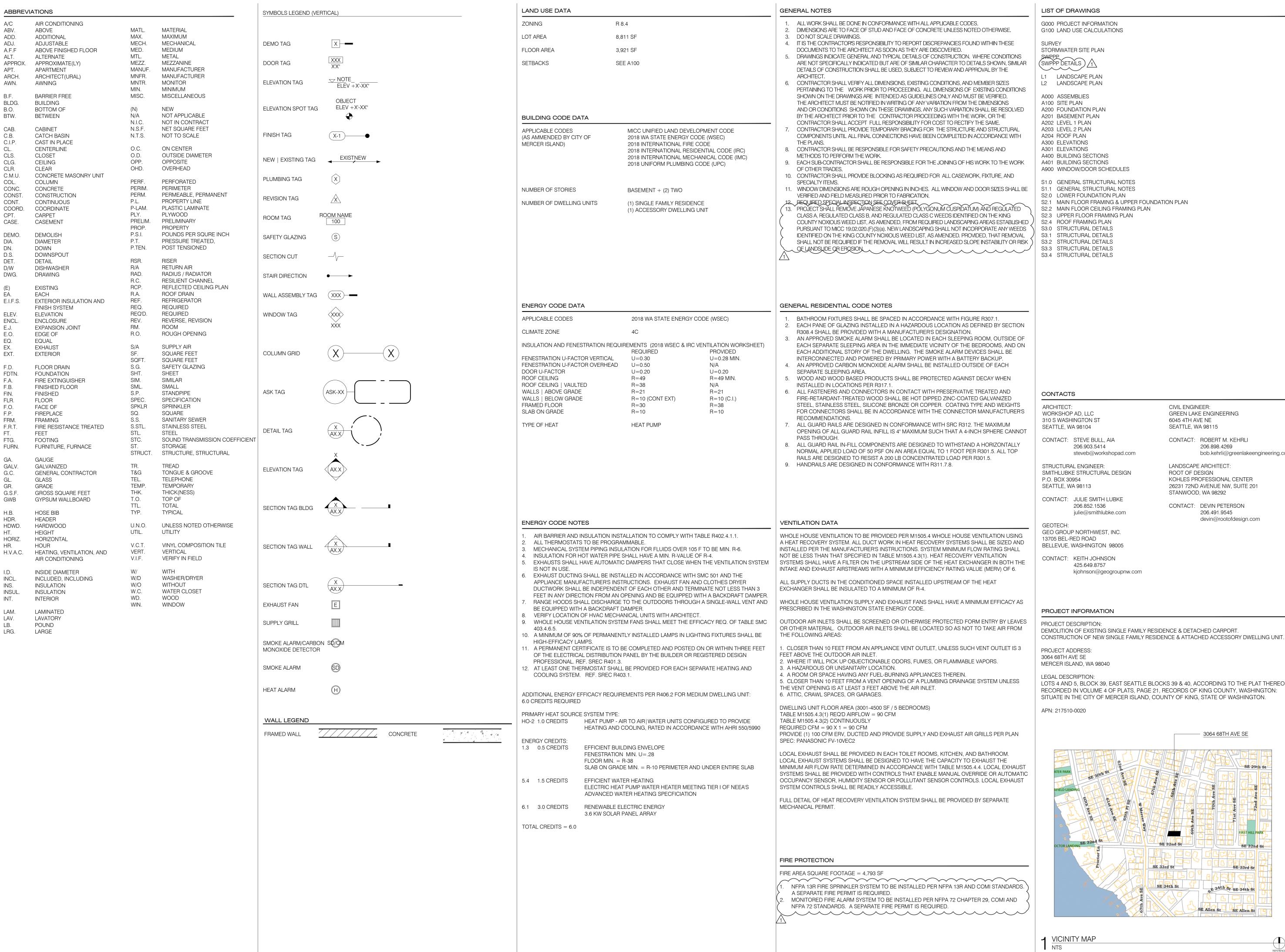
INSPECTION REQUESTS:

online	<i>:</i>
	MyBuildingPermit.com
<u> </u>	.,

HONE: 206.275.7605 www.mercergov.org	A STATE OF THE PARTY OF THE PAR	voicemail:
lePlan	ASHINGT	(206) 275-7730
OTE: ALL RECORDS AND DRAWINGS ARE SUBJECT T	O PUBLIC DISCLOSURE AS R	EQUIRED BY RCW 42.56
ONTACT INFORMATION: oplicant is to complete the following information.		
pplicant Contact information <i>prior</i> to permit issuance:	Applicant Contact infor	mation <i>post</i> permit issuance:
Jame:	Name:	
Phone:	Phone:	
mail:	Email:	
is the Engineer of Record's responsibility to specify all require owner is responsible for hiring an approved private Special spectors (except Geotechnical) must be WABO certified. When Special Inspection or Structural Observation is required, aspection. Note: Inspection by the City Inspector is required in Elow. Do not cover or conceal any work prior to the City inspector.	red Special Inspections or Structual Inspector for the checked inspective the report shall be submitted to the addition to the Special Inspection	ural Observation (check items below). ections noted below. All Special ne City Building Inspector prior to the City
STRUCTURAL OBSERVATION BY ENGINEER OF RECORD (EG	OR):	
Engineer of Record:	Company:	
General Conformance to Construction Documents	☐ Other:	
SOILS / GEOTECHNICAL: Special Inspector:	Company:	Phone:
Erosion control measures	Subsurface drainage	placement
☐ Shoring installation and monitoring ☐ Observe and monitor excavation		d compaction
Verification of soil bearing	Pile placement (auge	r cast/driven pile)
U Other:	Other:	
REINFORCED CONCRETE: Special Inspector:(Company:	Phone:
Concrete strength	Retaining wall constru	
Reinforcing steel and concrete placement	Prestressed / Precast	
☐ Shotcrete placement☐ Other:	Othor:	
STRUCTURAL STEEL: (AISC 360, Chapter N)		
Special Inspector:	Company:	Phone:
☐ Fabrication and shop welds☐ Structural steel erection, field welds and bolting☐ Other:	Moment Frame constOther:Other:	truction
STRUCTURAL MASONRY:		
Special Inspector:(Mortar strength	<u> </u>	
Masonry unit strength	☐ Glass unit masonry in☐ Wall panel and venee	
Other: Other:	Other: Other:	
	U Other.	
WOOD: Special Inspector /		
Engineer of Record:		Phone:
☐ Lateral resisting system construction☐ Other:	☐ High strength diaphra ☐ Other:	agm construction
OTHER SPECIAL INSPECTIONS:		
	Company:	Phone:
Epoxy grout installations	Stucco installation	
Expansion anchor installationsOther post installed anchors	Infiltration SystemExterior Insulation Fire	nish System (EIFS) installation
☐ Alternative construction methods: ☐ Alternative construction materials:	Other: Other:	
EFERRED SUBMITTALS:	Utiler.	
e Applicant is required to select all deferred submittals / shorication / construction.	nop drawings for submittal to the	City for review and approval prior to iten
Connector plate wood trusses	Post tension layout	
		n wall construction
Precast concrete elements	Other:	
Other: NERGY CODE COMPLIANCE INFORMAT	Other:	
dicate where the following information is located in the dra		ate or include the Residential Energy Code
escriptive Compliance (RECPC) Form into the drawing set.	,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,	
Sheet:		
Building envelope: WSEC Table 402.1.1	Air Leakage Testing.	RC Section R402.4.1.2 WA Amendments
(include U-factors, insulation and moisture control)	🗹 Provide air leaka	ge test report verifying air leakage rate
Whole house ventilation: IRC Section M1507 WA Amended (include ventilation option and duct sizing if applicable)	does not to excee ✓ Duct Leakage Testing	ed 5 air changes per hour. J. WSEC R403.2.2
Energy Credit Information: WSEC Table 406.2	Postconstruction Tes	t. WSEC R403.2.2.1
(include specific, written requirements) RECPC Form Information:	Rough-in Test. wsec R403	3.2.2.3
(if incorporated within drawing set)		
http://www.mercergov.org/files/2012ResidentialEnergyCalcForm.pdf		

\frown	PROJECT ALERTS: Construction of the project shall be from approved plans only. No deviation from the approved project plans is allowed without prior.	
≽լ	Construction of the project shall be from <i>approved plans only</i> . No deviation from the approved project plans is allowed without prior approval from the City of Mercer Island. Approved plans must be kept on site and maintained in good condition.	<u></u> 2
COMPLETED	 ✓ Refer to "Conditions of Permit Approval" provided at permit issuance for required construction rules and regulations, including: Site Considerations Hours of Work Construction Vehicle Parking Restrictions Acess Road Requirements Water Service Requirements Tree Requirements Tree Requirements Tree Requirements Tree Requirements Aces Requirements Tree Requirements Tree Requirements 	
2	Temporary site address with minimum 6" high numbers visible from the street must be installed. Erosion control measures must be as shown on approved project drawings. All erosion control is to be in place and inspected prior to the start of any site work.	
╁	✓ A City of Mercer Island Business License is required for all subcontractors. Call (206) 275-7783 for more information. TREE PROTECTION REQUIREMENTS:	۱ ۱
ľ	Tree protection as shown on approved drawings shall be installed at tree dripline prior to start of any site work and	
	must remain in place throughout the project. ✓ No trees shall be cut without a City of Mercer Island tree permit. ☐ Replacement trees must be a minimum of six feet tall at installation. They must be planted and approved prior to final inspection. ☐ For this project, ☐ trees are authorized to be removed and replaced with ☐ trees. ☐ This project appears to be within a protected eagle nest area. Contact Federal Fish and Wildlife at (360) 534-9304 or visit their website at http://www.fws.gov/pacific/eagle	
	FIRE PROTECTION REQUIREMENTS: Separate Permits are required for ALL fire protection systems. For more information, see http://www.mercergov.org/Page.asp?NavID=2614	
ľ	☐ Fire Sprinkler ☐ Monitored Household	1
	□ NFPA 13D Fire Alarm per NFPA 72 □ Plus □ Monitored Sprinkler	
	☐ NFPA 13R Water Flow Alarm	
	☐ NFPA 13 ☐ Other: ☐	
	□ FCA1 □ FCA3	
	□ FCA2 □ FCA4 □	
-	WATER SUPPLY REQUIREMENTS:	ł
	Fire sprinkler design calculations must be provided prior to determining water supply system requirements.	1
	Water Supply system upgrade required	
	☐ City Installation. ☐ Applicant Installation.	
	Required Service Line Size: Required Supply Line Size: Required Meter Size:	
	(water main to meter) (water main to house) Abandonment of existing service and meter required at main.	
) [Pressure reducing valve required if pressure exceeds 80 psi.	ر
	✓ Reduced pressure backflow assembly (RPBA) required for all lots with waterfront or non-city water supply (private wells or lake irrigation).	
L	Additional water supply requirements:	
	DRAINAGE REQUIREMENTS:	
	☐ On site detention system required☐ On site infiltration system required☐ No Storm Water permit required	
	As-built Utility drawings required Connection to public storm drainage conveyance system req'd.	
: -	☐ Full Size drawings required. ☐ Other: ☐ Other	1
2	Side sewer requires a backflow preventer when connecting to the lake line or when the elevation of the lowest plumbing fixture is	
	lower than the elevation of the upstream manhole rim or when side sewer is shared with one or more properties.	}
	☐ Video tape of existing sewer required (see standard details)☐ New connection.☐ Connect to existing.☐ Disconnect permit required.☐ Reconnect permit required.	
	Other: Note: When side sewer is to be connected to the lake line you will need to schedule three (3) days in advance with the City of	
	Mercer Island Maintenance Department at (206) 275-7800.	
	APPROVED CODE ALTERNATIVES:	1
H	Code alternatives must be Inspected. Refer to the Inspection Checklist	ł
	□ CA1:	
ŀ	SURVEY REQUIREMENTS (The following survey information must be submitted when checked):	ı
	Surveyor shall verify points chosen for height calculations and point verification shall be submitted at the time of City foundation	
	Inspection. A property survey may be required to verify setbacks and in some cases buildings must be surveyed onto the lot. The City reserves the right to request an impervious area survey at any time prior to issuance of Certificate of Occupancy.	
r	Surveyor:Phone:	1
	Building height survey	
	Building setback survey	
	Other: Other:	
	A Building Inspection prior to demolition is required for all legally nonconforming single family dwelling to ensure no more than	
	40 percent of the dwelling's exterior walls are structurally altered. Contact the Building Inspector at (206) 275-7730. ☐ Civil / Drainage ☐ LUP / Setback requirements	
	GEOTECHNICAL INFORMATION:	1
	Land clearing, grading, filling and foundation work within geologic hazard areas is NOT PERMITTED between October 1 and April 1	
	without an approved Seasonal Development Limitation Waiver. Geotechnical Report provided, All construction must comply with the recommendations of the Geotechnical Report. A copy of	1
3	Geotechnical Report provided. All construction must comply with the recommendations of the Geotechnical Report. A copy of report and other geotechnical information must be kept on site at all times.	5
	Geotechnical Engineer Phone	4
COINIFICETED BY	SEASONAL DEVELOPMENT LIMITATION RESTRICTION: Applies (Geologic Hazard area). Grading not permitted between October 1 through April 1. Waiver approved. Grading and excavation permitted subject to all conditions noted in Seasonal Development	
<u> </u>	Limitation Waiver Permit.	
	Permit number Approved by Date	
		?

It is the applicar	nt's resp	STRUCTION INSPECTIONS: onsibility to contact DSG to schedule ALL inspections appropriate for the project. Request inspections online at .com or by calling the Inspection Hotline at (206) 275-7730. Allow at least 24 hours (48 hours for Reinforcing steel)	 		
in advance of de	esired in	spection. Be specific as to type of inspection. and date appropriate inspection only if approved. Note: Items marked with an "*" require a separate permit. It is the			BER
applicants re	sponsibi S: (Listed in	lity to apply for and obtain all City of Mercer Island permits. order of typical sequencing)			PERMIT NUMBER
	🗓	Pre-construction Meeting to Review Conditions of Permit Approval.			RMI
	* 	Tree protection Erosion control			PE
	* *	Sewer disconnect and cap. If applicable, separate side-sewer permit required Right-of-way use or work / easement, material delivery, etc. If applicable,			
	*	separate ROW permit required	>	_	
		Land clearing, grading and demolition Temporary power		beer	
		Pilings / Shoring / Shotcrete. If applicable, provide survey letter	AA	have k	
		(property line); Geotechnical Engineer / Special Inspector reports of inspections (pile and shoring installation, etc.)		•	
		Footings, setbacks, UFER ground. If applicable, provide survey letter		spections approved	
		(building height and setbacks); Special Inspector reports of inspections (soil bearing capacity, compaction, earthwork, pile installation, etc.)	Ŏ	app	
		Foundation walls / concrete columns	HC H	ed ir and	
		Roof and footing drains Foundation damproofing	Ш	require ormed	
	*	Storm drainage, including (but not limited to):	AT	III re rforr	
		 Connections to storm Main in ROW Conveyance piping / cleanouts 	2	fter all perfc	
		• Detention systems • Storm drain in ROW		d afi	
		 Infiltration systems Catch basins including Pump systems 	4	ssue	
		oil-water separator tees • Retaining wall drainage	3	<u> </u>	
	*	Water Service Water Supply			
		Water as-built drawings			
	*	Side sewer installation, including (but not limited to): • Connections to side • Back-flow valves			
		sewer main • Grinder pump systems			
		• Connections to existing • Sewer manholes side sewer			
	📙	Driveway / Access road			
		Underslab electrical / mechanical / plumbing Underslab insulation / vapor barrier / reinforcing			
		Underfloor framing			
	⊔	Nailing-Roof sheathing. If applicable, provide Special Inspection letter for lateral wood inspection.			
		Nailing-Exterior wall and Shearwall. If applicable, provide Special			
		Inspection letter for lateral wood inspection. Rough hydronic installation			
	*	Rough electric installation			
	*	Rough fire alarm (wiring inspection) Rough plumbing installation (DWV, water)			
	📙	Rough mechanical Gas Piping			
	*	Rough fire sprinkler / hydrostatic and flow (bucket) test			
		Framing and glazing. If applicable, provide Special Inspection letter for lateral wood inspection, welding epoxy anchors, etc.			
		Masonry construction (fireplace / walls / veneer / etc.)			
		Insulation installation Stucco (paper and lath)			
		Shower pan (or tub)			
		Miscellaneous Code Alternative CA1:			
		Code Alternative CA2:			
	U	Impact Fees Paid (If applicable)			
	📙	Final Inspection: Tree Restoration			
	⊔	• Sprinkler • Fuel Tank Installation TF			
		 Access Road Fire Extinguishing System Fire Code Alternatives (see below) Fire Alarm System 			
		• Fire Code Alternatives (see below) • Fire Alarm System FCA1: FCA3:			
		FCA2: FCA4: Final Inspection: Water supply protection, including (but not limited to) TW			
	⊔	backflow devices for:		1	
		 Waterfront property Fire / lawn sprinkler Well water on property Boiler 	Ļ	_	Ļ
	🗆	Final Inspection: Site and utility: includes landscape, utilities and ROW. Site TS	ì	<u>j</u>	Ĺ
		restoration complete and as-built drawings ready for submittal. Final Inspection: Building, including electrical / mechanical / plumbing. If	5	3 ≥	5
	⊔	applicable, provide closeout (summary) letters from Engineer, Special		44	
		Inspectors, Geotechnical Engineer, and exterior wall cladding inspectors (EIFS).	_		
		RARY CERTIFICATE OF OCCUPANCY (TCO): onal fees will be required and must be approved prior to occupancy. TCO requires tree plantings be completed.	ا ۲ در	щ	
лррпсант орно	Additi	onal rees will be required and must be approved prior to occupancy. Teo requires tree plantings be completed.	KEPT	Z	
			BE F	LIA	
Approved	AL DE	Start Date End Date OLUBED CITY INSPECTIONS:	ST	Z	
		QUIRED CITY INSPECTIONS: tact to arrange the inspection.	MU	00	
Required Inspe		Contact: Colondalina Colondalina		DE	
				00	
			NA N	A C	
	, , , , ,			F0	
IMPACT FI	EES:	PLAN REVIEW APPROVALS: Not all review disciplines may be required to review the documents	ÆD: BU	VED	
If applicable. Impact	fees an	Not all review disciplines may be required to review the documents. oly and are due <i>prior</i> to Final Inspection or on	APPROVED ON THE BL	IEV	
puct	233 ap		APPR ON 1) E	
 Date		, whichever occurs first.			



workshop AD

310 South Washington Street Seattle, WA 98104

> 206.903.5414 206.682.0317 F www.workshopad.com

3064 68TH AVE SE **BUILDING PERMIT SUBMITTAL**



BUILDING PERMIT SUBMITTAL

BUILDING PERMIT CORRECTION 2 /2

JULY 7, 2023

AUG. 8, 2023

BUILDING PERMIT CORRECTION 1 1

WORKSHOP AD, LLC 310 S WASHINGTON ST

CONTACT: STEVE BULL, AIA 206.903.5414

steveb@workshopad.com STRUCTURAL ENGINEER: SMITHLUBKE STRUCTURAL DESIGN

CONTACT: JULIE SMITH LUBKE 206.852.1536 julie@smithlubke.com

GEO GROUP NORTHWEST, INC. 13705 BEL-RED ROAD

BELLEVUE, WASHINGTON 98005 CONTACT: KEITH JOHNSON

CIVIL ENGINEER: GREEN LAKE ENGINEERING 6045 4TH AVE NE SEATTLE, WA 98115

CONTACT: ROBERT M. KEHRLI 206.898.4269 bob.kehrli@greenlakeengineering.com

LANDSCAPE ARCHITECT: ROOT OF DESIGN KOHLES PROFESSIONAL CENTER 26231 72ND AVENUE NW, SUITE 201 STANWOOD, WA 98292

206.491.9545

425.649.8757

devin@rootofdesign.com

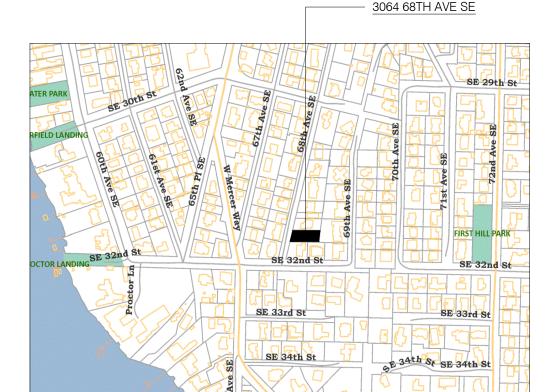
Jurisdiction Review

SE Allen St SE Allen St

LEGAL DESCRIPTION:

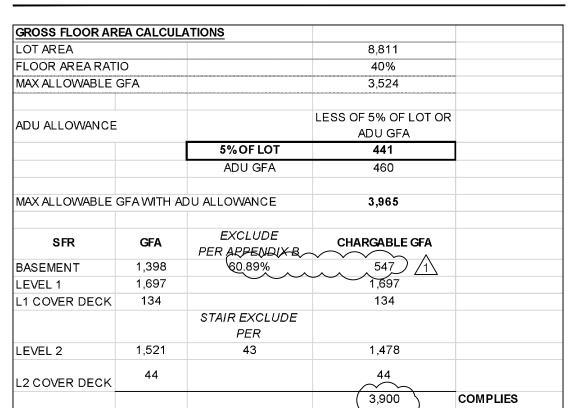
LOTS 4 AND 5, BLOCK 39, EAST SEATTLE BLOCKS 39 & 40, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 4 OF PLATS, PAGE 21, RECORDS OF KING COUNTY, WASHINGTON: SITUATE IN THE CITY OF MERCER ISLAND, COUNTY OF KING, STATE OF WASHINGTON.

APN: 217510-0020

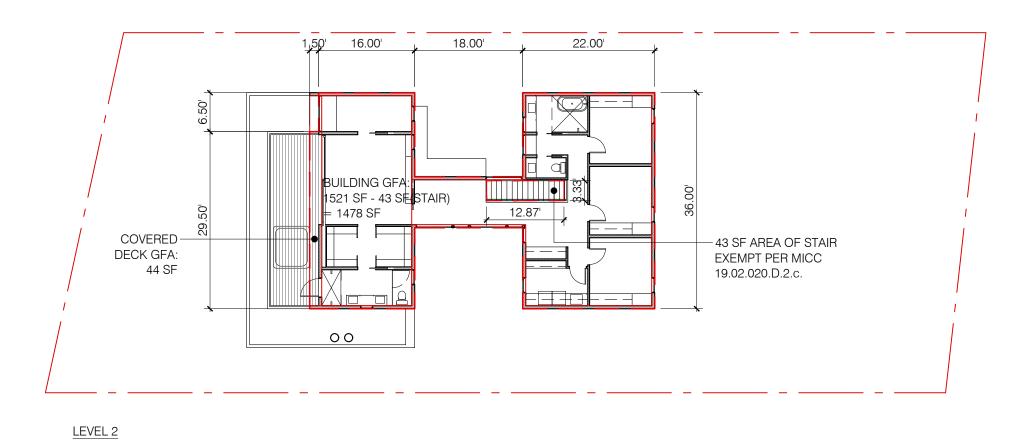


Owner Name SAM FRANKLIN + JUNE CADENHEAD Project Address 3064 68TH AVE SE MERCER ISLAND, WA 98040

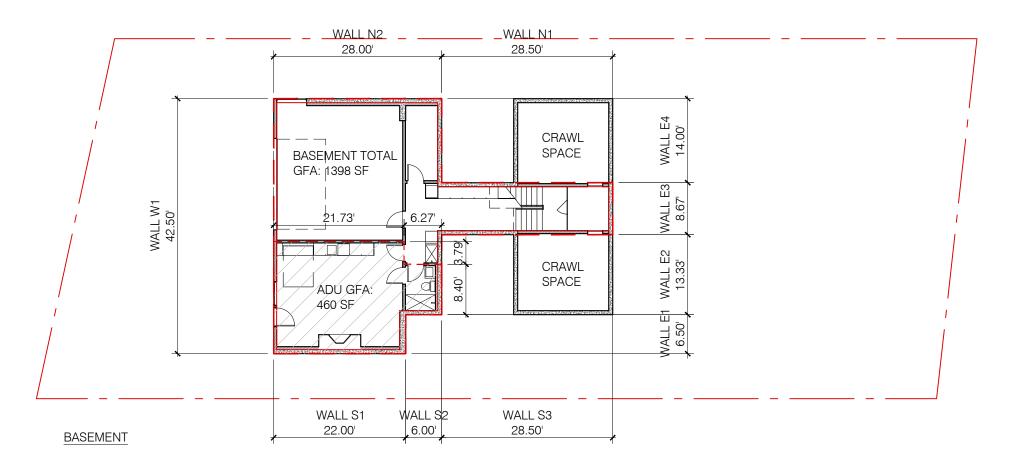
Sheet Information Job Number DR / TL Checked PROJECT INFO



SEGMENT	LENGTH	M.P. HEIGHT	TOTAL WALL HEIGHT	COVERAGE %	RESULT
W1	42.50	0.00	8.50	0%	0.00
S1	22.00	2.70	8.50	32%	6.99
E1	6.50	5.50	(8.50	65%	4.21
S2	6.00	6.80	8.50	80%	4.80 /
E2	13.33	8.00	8.50	94%	12.55
S3	28.50	8.50	(8.50	100%	28.50 <
E3	8.67	8.50	(8.50	100%	8.67
N1	28.50	8.50	8.50	100%	28.50
E4	14.00	8.00	(8.50	94%	13.18 <
N2	28.00	4.00	^ (8.50	47%	13.18
		4	/1\	,	
TOTAL	198.00			\$	120.56
EXCLUDED	FROM GFA (PER	CENTAGE AND ARE	A) (60.89%	851
NOTE:	000 0001 0/0401		IOUT		•
REFER TO AS	300, A301, 2/A401	FOR WALL M.P. HE	IGHT		
	EXCLUDED BAS	EMENT.			



2,00' 16.00' 16.50' BUILDING GFA: 1697 SF 18.00' 16.50' 22.00'



NOTE: ADU GFA INCLUDED IN BASEMENT TOTAL GFA

LEVEL 1

 $2^{\frac{\text{GFA DIAGRAMS}}{1/16"=1'-0"}}$

AVG BUILDING ELEVATION CALCULATIONS

			170.2	30' height limit
			140.2	average elev (total / total length)
			252.7	total length
			35422.2	total
N2	137.0	28.00	3836.0	
E4	141.0	14.00	1974.0	
N4	142.0	12.00	1704.0	
W3	143.0	14.00	2002.0	
N3	11(146.0)	16.50	2409.0	
E5	A45.5	36.00	5238.0	
S5	11/1450	16.50	2392.5	
W2	A (143.0)	13.33	1906.2	
S4	142.0	12.00	1704.0	
E2	141.0	13.33	1879.5	
S2	139.8	6.00	838.8	
E1	138.5	6.50	900.3	
S1	135.7	22.00	2985.4	
W1	elevation	façade length 42.50	(length x elev) 5652.5	
	midpoint			

LOT SLOPE CALCULATION

HIGHEST PT ELEVATION: +164.0' LOWEST PT ELEVATION: +121.8'

ELEVATION DIFFERENCE: 42.2'

HORIZONTAL DISTANCE BETWEEN HIGH AND LOW PT: 147.5'

LOT SLOPE = 42.2' / 147.5' = 28.6 %

3064 68TH AVE SE BUILDING PERMIT SUBMITTAL

workshop AD

310 South Washington Street

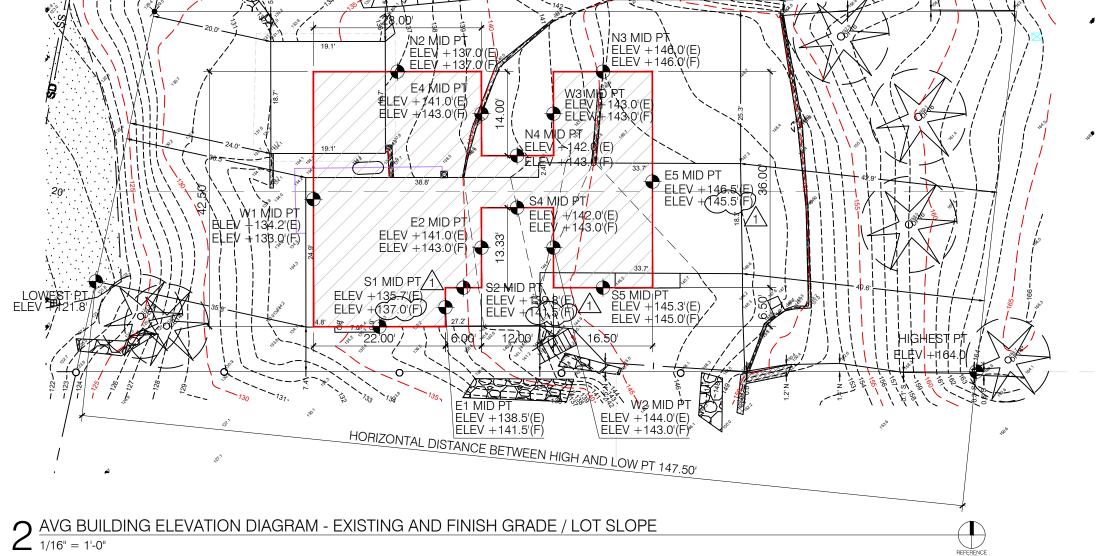
Seattle, WA 98104

206.903.5414 T 206.682.0317 F www.workshopad.com



BUILDING PERMIT SUBMITTAL

JAN.18, 2023



BUILDING PERMIT CORRECTION 1

JULY 7, 2023

BUILDING PERMIT CORRECTION 2

AUG. 8, 2023

LOT COVERAGE AND HARDSCAPE CALCULATIONS

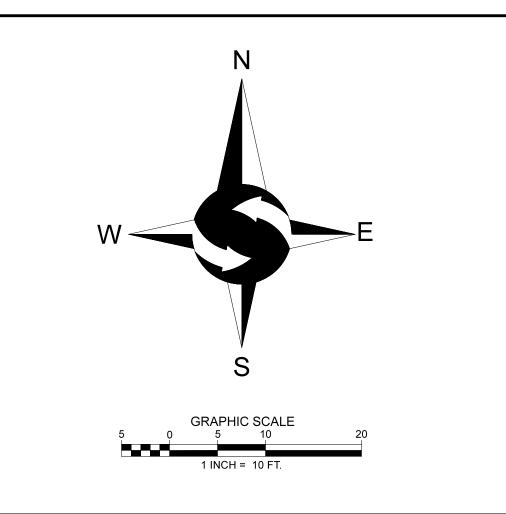
LOT AREA		8,811	
MAX COVERAGE (35%)		3,084	
PROPOSED COVERAGE			
	BUILDING	2,320	
	DRIVEWAY	1 638	
TOTAL		2,958	COMPLIES
MAX HARDSCAPE (9%)		793	
PROPOSED HARDSCAPE			
	H1	255	
	H2	1 462	
TOTAL		717	COMPLIES

LOT COVERAGE (DRIVEWAY): 638,SF/ $\begin{array}{l}
1 & \frac{\text{LOT COVERAGE PLAN DIAGRAM}}{1/16" = 1'-0"}
\end{array}$ Jurisdiction Review

Owner Name SAM FRANKLIN + JUNE CADENHEAD Project Address 3064 68TH AVE SE MERCER ISLAND, WA 98040

Sheet Information Job Number DR / TL LAND USE CALCULATIONS

G100



LEGEND

— OHP— OVERHEAD POWER FOUND MONUMENT IN CASE FOUND REBAR AS DESCRIBED —X— CHAINLINK FENCE —□— WOOD FENCE SET MAG NAIL AS DESCRIBED — I — WIRE FENCE POWER METER TIMBER WALL UTILITY POLE CONCRETE WALL MAILBOX STORM DRAIN MANHOLE ROCKERY CATCH BASIN SOLID LID ASPHALT SURFACE CATCH BASIN SANITARY SEWER MANHOLE CONCRETE SURFACE WATER VALVE **GRAVEL SURFACE** FIRE HYDRANT WATER METER BRICK SURFACE APPROXIMATE LOCATION SANITARY SEWER LINE CE CEDAR APPROXIMATE LOCATION STORM DF DOUGLAS FIR DRAIN LINE * INDICATES MULTI-TRUNK APPROXIMATE LOCATION UNDERGROUND GAS LINE APPROXIMATE LOCATION — W — UNDERGROUND WATER LINE

LEGAL DESCRIPTION

LOTS 4 AND 5, BLOCK 39, EAST SEATTLE BLOCKS 39 & 40, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 4 OF PLATS, PAGE 21, RECORDS OF KING COUNTY, WASHINGTON; SITUATE IN THE CITY OF MERCER ISLAND, COUNTY OF KING, STATE OF WASHINGTON.

BASIS OF BEARINGS

RECORD OF SURVEY BY TERRANE FOR LOUIE SCALZO, RECORDED ON OCTOBER 19, 2017, IN VOLUME 372 OF SURVEYS, PAGES 200 AND 201, UNDER RECORDING NO. 20171019900001, RECORDS OF KING COUNTY, WASHINGTON.

PROJECT INFORMATION

MARY KAY NELSON PROPERTY OWNER: 3064 68TH AVENUE SE MERCER ISLAND, WA 98040 TAX PARCEL NUMBER: 217510-0020 PROJECT ADDRESS: 3064 68TH AVENUE SE MERCER ISLAND, WA 98040 ZONING: JURISDICTION: CITY OF MERCER ISLAND

GENERAL NOTES

PARCEL ACREAGE:

- THIS SURVEY WAS COMPLETED WITHOUT BENEFIT OF A CURRENT TITLE REPORT. EASEMENTS AND OTHER ENCUMBRANCES MAY EXIST ON THIS PROPERTY THAT ARE NOT SHOWN HEREON.
- INSTRUMENTATION FOR THIS SURVEY WAS A 3-SECOND SPECTRAPRECISION FOCUS 35 TOTAL STATION AND AN EMLID REACH RS2 GPS RECEIVER. PROCEDURES USED IN THIS SURVEY MEET OR EXCEED STANDARDS SET BY WAC 332-130-090.
- THE INFORMATION ON THIS MAP REPRESENTS THE RESULTS OF A SURVEY MADE IN MAY 2022 AND CAN ONLY BE CONSIDERED AS INDICATING THE GENERAL CONDITIONS EXISTING
- 4. UTILITIES SHOWN ON THIS SURVEY ARE BASED UPON ABOVE GROUND OBSERVATIONS AND AS-BUILT PLANS WHERE AVAILABLE. ACTUAL LOCATIONS OF UNDERGROUND UTILITIES MAY VARY AND UTILITIES NOT SHOWN ON THIS SURVEY MAY EXIST ON THIS SITE.
- 5. ALL MONUMENTS WERE LOCATED DURING THIS SURVEY UNLESS OTHERWISE NOTED.

VERTICAL DATUM & CONTOUR INTERVAL



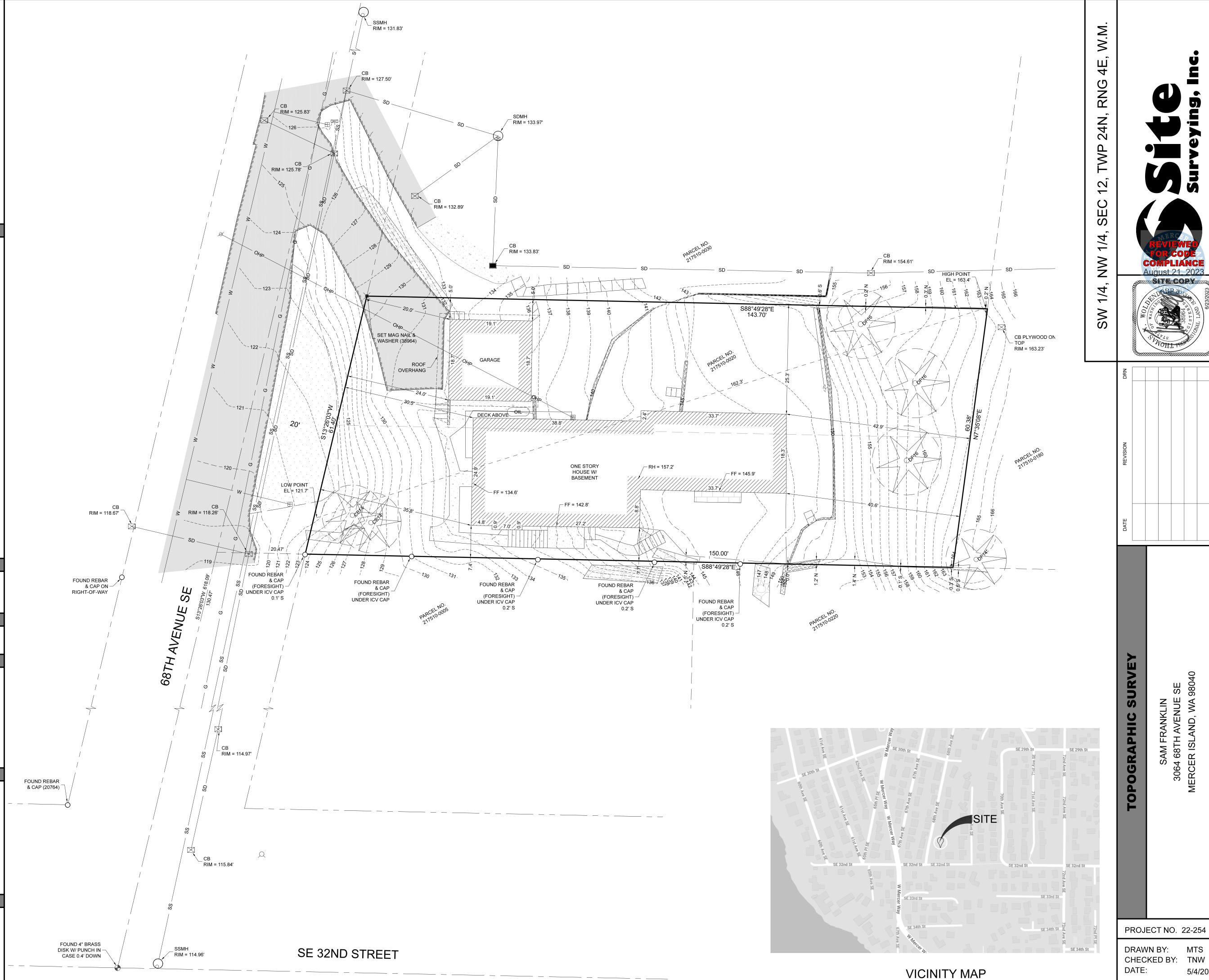
ELEVATIONS SHOWN ON THIS DRAWING WERE DERIVED FROM INFORMATION PROVIDED BY WCCS SURVEY CONTROL DATABASE. THE MARK IS A MONUMENT IN CASE AT THE INTERSECTION OF SE

8,811 S.F. (0.202 ACRES) AS SURVEYED

POINT ID NO. 502; ELEVATION: 112.571 FEET - NAVD 88

32ND STREET AND 68TH AVENUE NE.

1.0' CONTOUR INTERVAL - THE EXPECTED VERTICAL ACCURACY IS EQUAL TO 1/2 THE CONTOUR INTERVAL OR PLUS / MINUS 0.5' FOR



August 21 2023

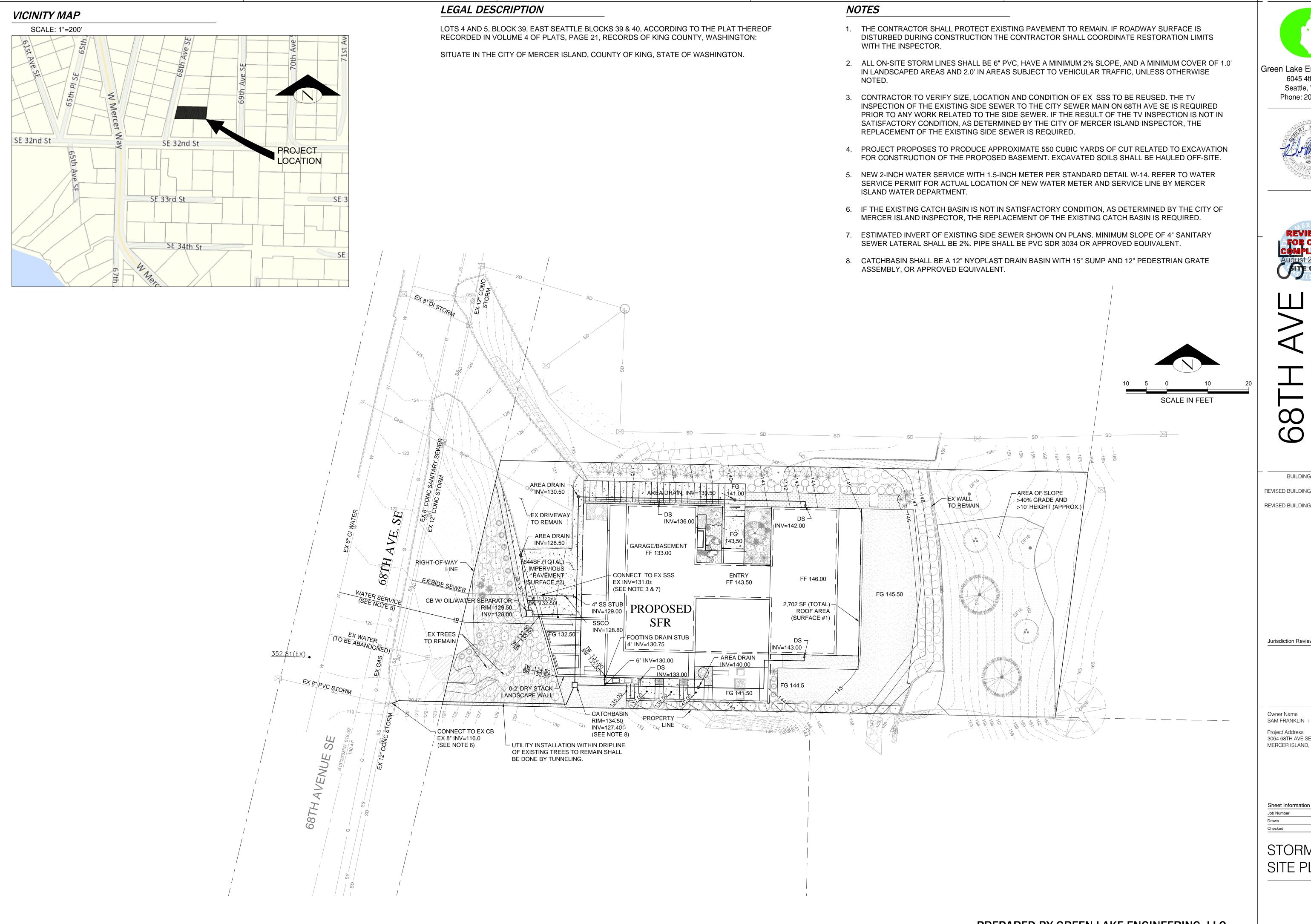
SITECOPY

MTS

1 OF 1

SHEET

5/4/2022





Green Lake Engineering, LLC 6045 4th Ave. NE Seattle, WA 98115 Phone: 206-898-4269





BUILDING PERMIT SUBMITTAL 12.30.2022 REVISED BUILDING PERMIT SUBMITTAL 07.14.2023 REVISED BUILDING PERMIT SUBMITTAL

Jurisdiction Review

Owner Name SAM FRANKLIN + JUNE CADENHEAD Project Address

3064 68TH AVE SE MERCER ISLAND, WA 98040

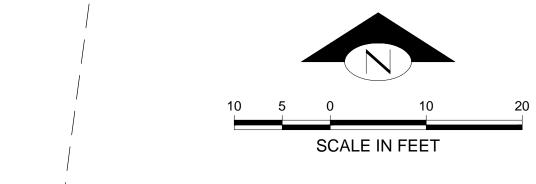
STORMWATER SITE PLAN

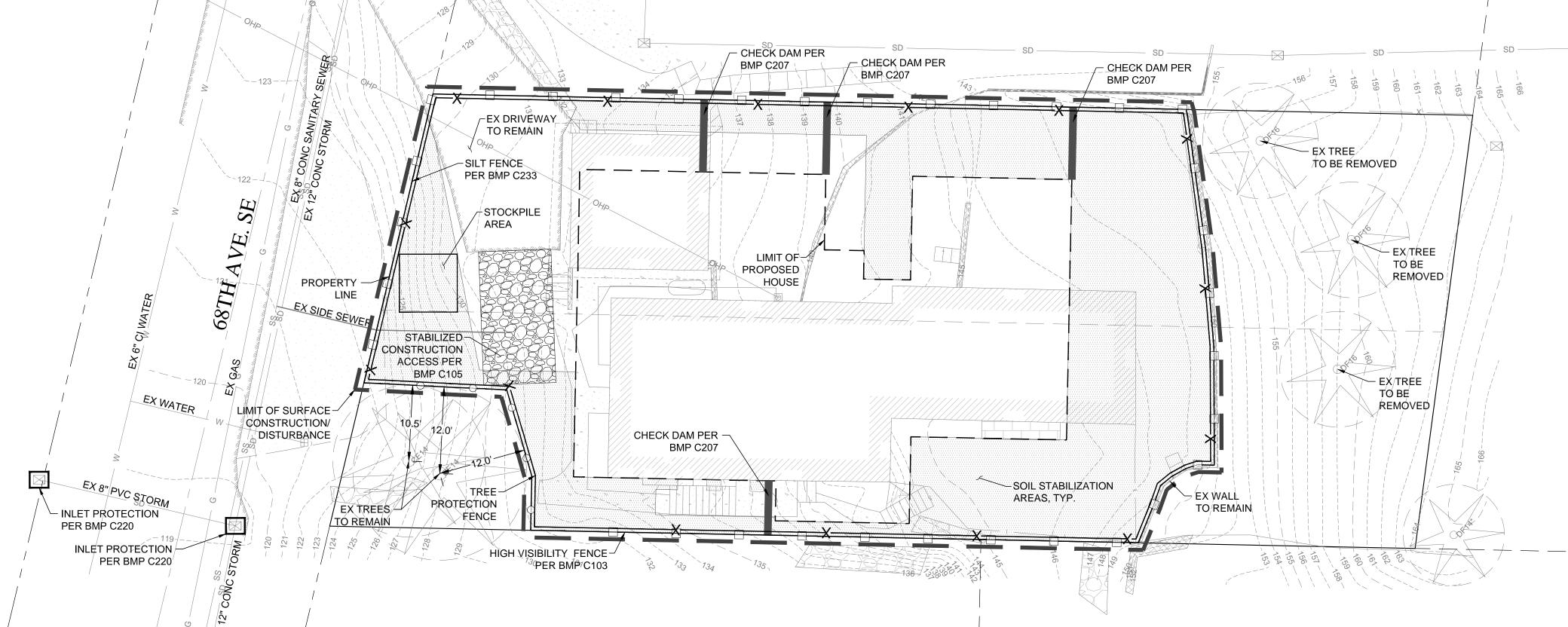
PREPARED BY GREEN LAKE ENGINEERING, LLC



- 1. AREAS REQUIRED TO PROVIDE POST-CONSTRUCTION SOIL QUALITY AND DEPTH PER MINIMUM REQUIREMENT #5 SHALL PROVIDE A TOPSOIL LAYER WITH A MINIMUM ORGANIC MATTER CONTENT OF TEN PERCENT DRY WEIGHT IN PLANTING BEDS, AND 5% ORGANIC MATTER CONTENT IN TURF AREAS, AND A PH FROM 6.0 TO 8.0 OR MATCHING THE PH OF THE ORIGINAL UNDISTURBED SOIL. THE TOPSOIL LAYER SHALL HAVE A MINIMUM DEPTH OF EIGHT INCHES EXCEPT WHERE TREE ROOTS LIMIT THE DEPTH OF INCORPORATION OF AMENDMENTS NEEDED TO MEET THE CRITERIA. SUBSOILS BELOW THE TOPSOIL LAYER SHOULD BE SCARIFIED AT LEAST 4 INCHES WITH SOME INCORPORATION OF THE UPPER MATERIAL TO AVOID STRATIFIED LAYERS, WHERE FEASIBLE.
- PLANTING BEDS MUST BE MULCHED WITH 2 INCHES OF ORGANIC MATERIAL.
 LANDSCAPED AREAS THAT WILL REQUIRE POST CONSTRUCTION SOIL QUALITY
- 3.1. LAWN = 991 SF
- 3.2. PLANER = 1,927 SF

AND DEPTH PER BMP T5.13.





INLET PROTECTION PER BMP C220

INLET PROTECTION PER BMP C220

Green Lake Engineering, LLC 6045 4th Ave. NE Seattle, WA 98115 Phone: 206-898-4269





BUILDING PERMIT SUBMITTAL 12.30.2022 REVISED BUILDING PERMIT SUBMITTAL 08.03.2023

Jurisdiction Review

Owner Name
SAM FRANKLIN + JUNE CADENHEAD

Project Address
3064 68TH AVE SE
MERCER ISLAND, WA 98040

Sheet Information

Job Number 2209

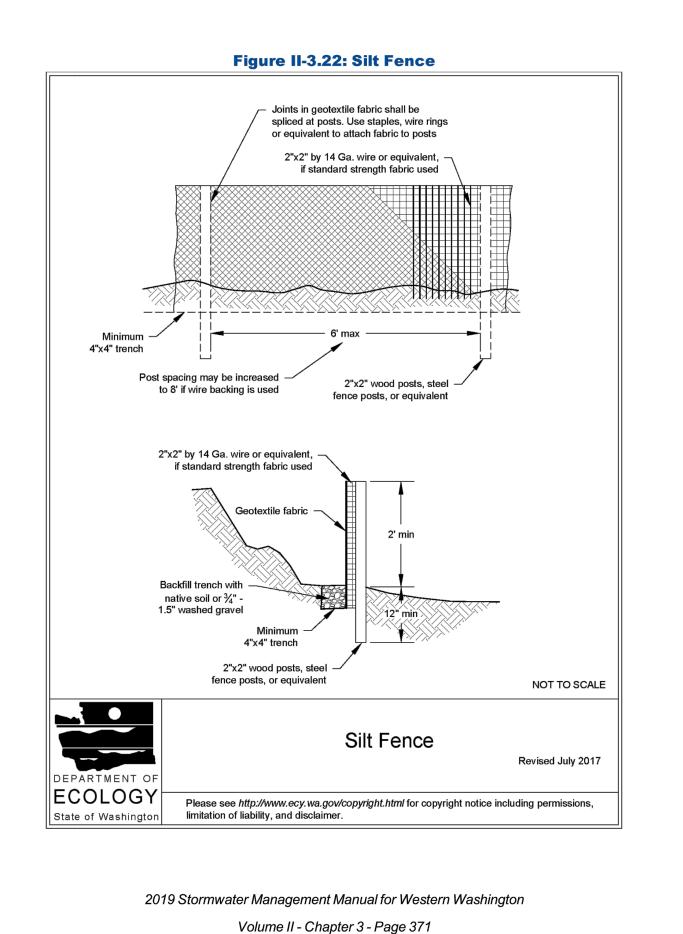
Drawn RMK

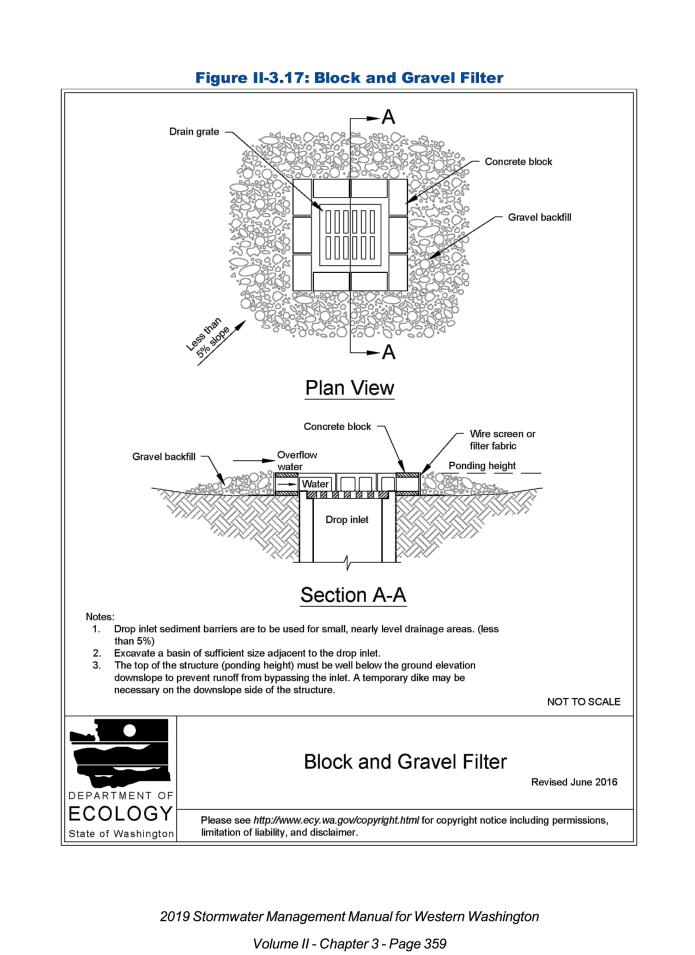
Checked RMK

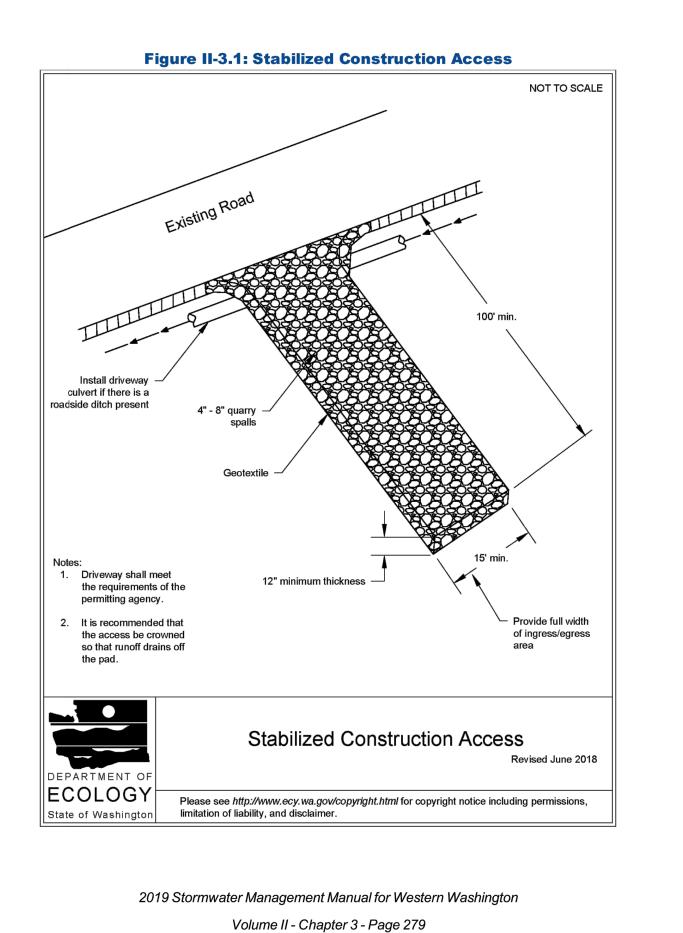
Title

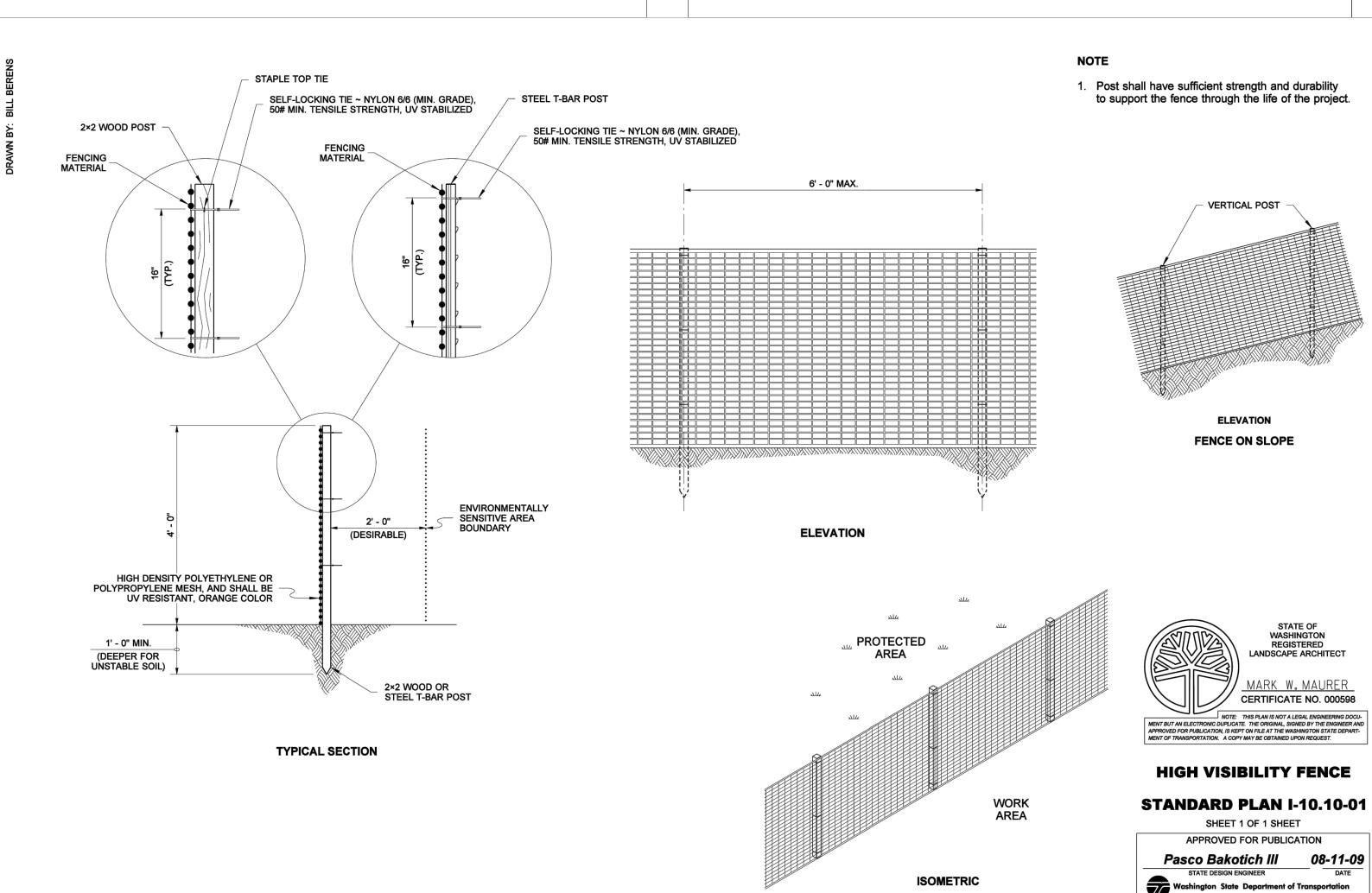
SWPPP

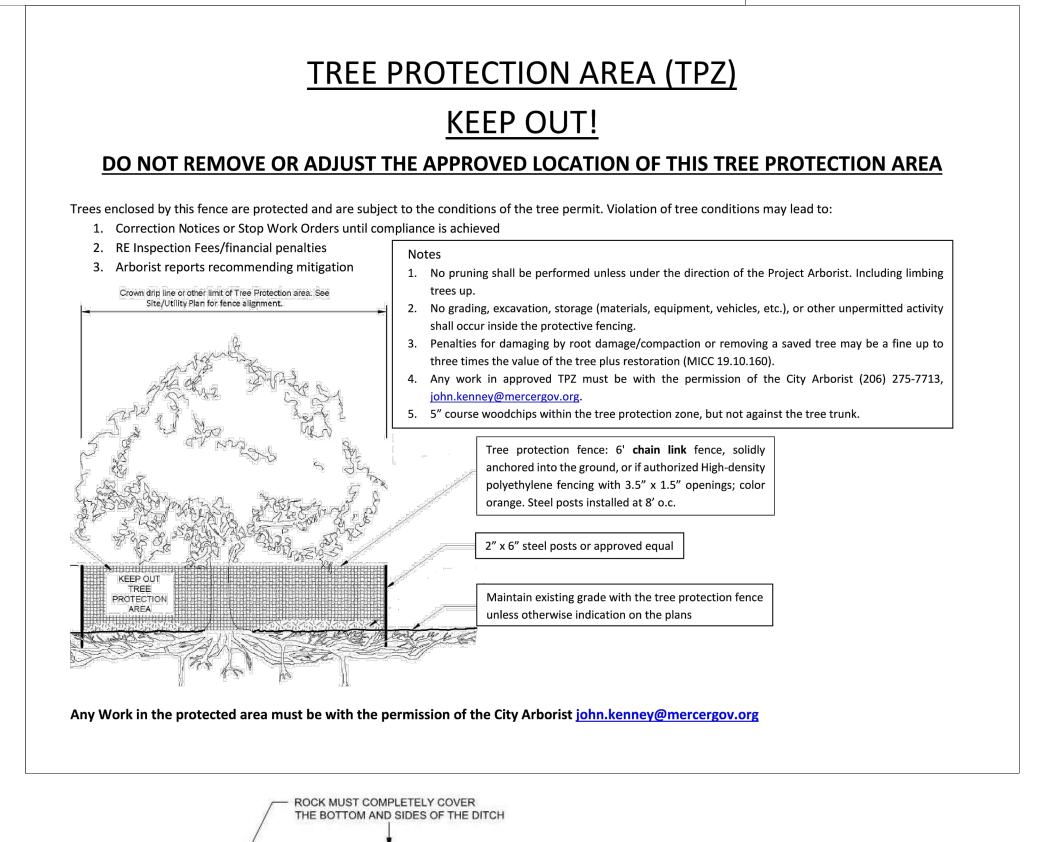
Sł











- 2H:1V SLOPES

CHECK DAM SPACING

L=THE DISTANCE SUCH THAT POINTS A AND B ARE OF EQUAL ELEVATION







BUILDING PERMIT SUBMITTAL 12.30.2022 REVISED BUILDING PERMIT SUBMITTAL 07.14.2023

Jurisdiction Review

Owner Name
SAM FRANKLIN + JUNE CADENHEAD
Project Address
3064 68TH AVE SE
MERCER ISLAND, WA 98040

Sheet Information

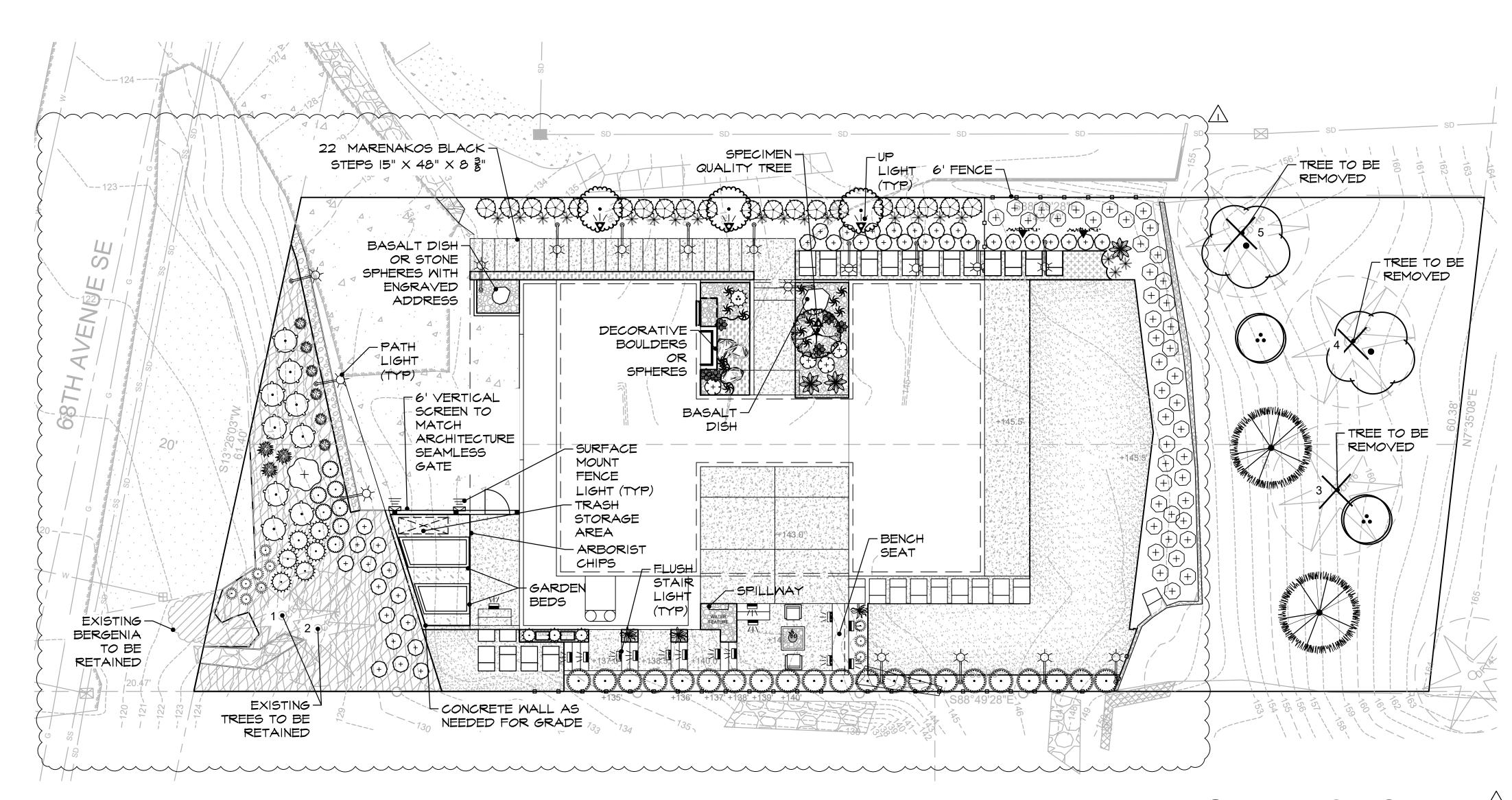
Job Number 22

Drawn RM
Checked RM
Tit

SWPPP

DETAILS

PREPARED BY GREEN LAKE ENGINEERING, LLC





LANDSCAPE NOTES

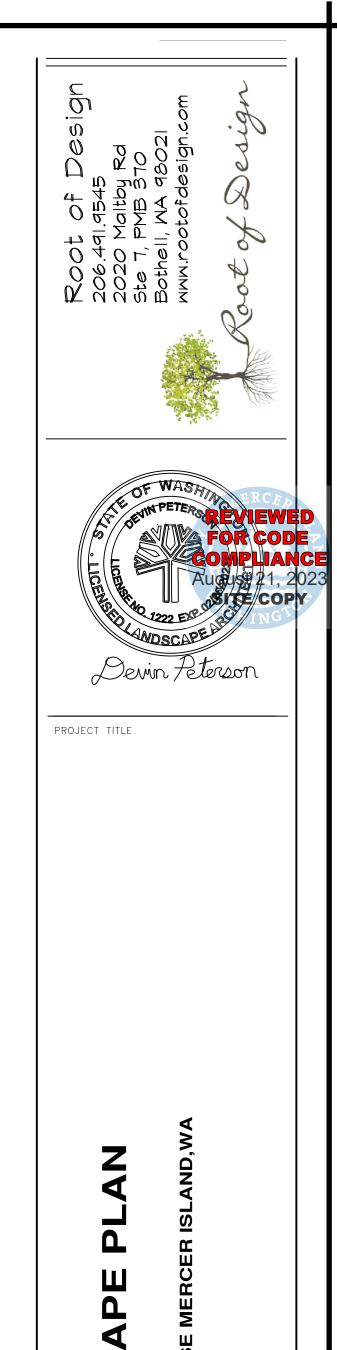
I. CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING THEMSELVES WITH ALL OTHER SITE IMPROVEMENTS AND CONDITIONS PRIOR TO STARTING LANDSCAPE WORK.

- 2. CONTRACTOR SHALL USE CAUTION WHILE EXCAVATING TO AVOID DISTURBING ANY UTILITIES ENCOUNTERED. CONTRACTOR IS TO PROMPTLY ADVISE OWNER OF ANY DISTURBED UTILITIES. LOCATION SERVICE PHONE 1-800-424-5555.
- 3. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPUTING SPECIFIC QUANTITIES OF GROUND COVERS AND PLANT MATERIALS UTILIZING ON-CENTER SPACING FOR PLANTS AS STATED ON THE LANDSCAPE PLAN AND MINIMUM PLANTING DISTANCES AS SPECIFIED BELOW IN THESE NOTES.
- 4. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING THE QUANTITIES OF PLANTS THAT ARE REPRESENTED BY SYMBOLS ON THE DRAWINGS.
- 5. SUBGRADE IS TO BE WITHIN L'OF ONE FOOT AS PROVIDED BY OTHERS. ALL PLANTING AREAS TO BE
- 6. IMPORT 8 INCHES OF COMPOST AMENDED TOPSOIL (25% COMPOST FOR TURF AREAS: 40% COMPOST FOR PLANTING BEDS). SCARIFY SUBSOIL 4" TO INCORPORATE WHERE FEASIBLE WITHOUT IMPACTING TREE
- 7. 2" DEPTH ORGANIC MULCH IN ALL BED AREAS. 8. ALL PLANT MATERIAL SHALL BE FERTILIZED WITH AGRO TRANSPLANT FERTILIZER 4-2-2 PER MANUFACTURER'S SPECIFICATIONS.
- 9. ALL PLANT MATERIAL SHALL CONFORM TO AAN STANDARDS FOR NURSERY STOCK, LATEST EDITION. ANY REPLACEMENTS MADE AT ONCE
- 9.A. GENERAL: ALL PLANT MATERIAL FURNISHED SHALL BE HEALTHY REPRESENTATIVES, TYPICAL OF THEIR SPECIES OF VARIETY AND SHALL HAVE A NORMAL GROWTH HABIT. THEY SHALL BE FULL, WELL BRANCHED, WELL PROPORTIONED, AND HAVE A VIGOROUS, WELL DEVELOPED ROOT SYSTEM. ALL PLANTS SHALL BE HARDY UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT.
- 9.B. TREES, SHRUBS, AND GROUND COVER: QUANTITIES, SPECIES, AND VARIETIES, SIZES AND CONDITIONS AS SHOWN ON THE PLANTING PLAN. PLANTS TO BE HEALTHY, VIGOROUS, WELL FOLIATED WHEN IN LEAF. FREE OF DISEASE, INJURY, INSECTS, DECAY, HARMFUL DEFECTS, AND ALL WEEDS. NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN APPROVAL FROM LANDSCAPE ARCHITECT OR OWNER.
- 10. ALUMINUM EDGING, PERMALOC OR APPROVED EQUAL, TO BE INSTALLED BETWEEN BARK AND COBBLE

IRRIGATION: A TEMPORARY IRRIGATION SYSTEM IS REQUIRED FOR ALL REPLACEMENT TREES. EACH TREE TO BE IRRIGATED WITH DRIP BUBBLERS FOR A MINIMUM OF 5 AFTER INITIAL PLANTING, DRIP SYSTEM SHOULD BE SCHEDULED TO RUN THREE DAYS A WEEK FOR 30 MINUTES MONITOR SOIL MOISTURE DAILY. AFTER ONE GROWING SEASON, SCHEDULE IRRIGATION TO RUN ONE DAY A WEEK DURING APRIL, MAY, SEPTEMBER AND OCTOBER. (TWICE A WEEK FROM JUNE THROUGH AUGUST (SET THE RUN TIME BETWEEN 45-60 MINUTES. AFTER WATERING, CHECK THE SOIL MOISTURE AT THE ROOT (AT LEAST 6 INCHES DEEP) AND ADJUST angleTHE RUN TIME IF NEEDED. >-CHECK THE DRIP SYSTEM TWICE A MONTH TO SENSURE THE SYSTEM IS RUNNING PROPERLY. >-HAND CLEAR AND GRUB A 3' DIAMETER RING OF ALL GRASS, WEEDS AND INVASIVE SPECIES AROUND EACH REPLACEMENT TREE AND INSTALL 3" DEPTH OF ARBORIST angleCHIP MULCH IN PLANTING RING.

TREE RETENTION REQUIREMENTS MINIMUM 30% LARGE TREES RETAINED TOTAL LARGE TREES ON SITE: 5 TREES TO BE REMOVED: 3 (TREE #3, #4, #5) TREES TO TO BE RETAINED: 2 (TREE #1, #2)= 40%

TREE REPLACEMENT CALCULATIONS LARGE TREES TO BE REMOVED: 3 (TREE #3, #4, #5) REPLACEMENT REQUIRED 2:1 RATIO: 6 REPLACEMENT TREES REQUIRED- 6'TALL MIN CONIFERS \$1.5" CAL DECIDUOUS TREES REPLACEMENTS PROVIDED: 6 2-ACER CIRCINATUM 2-CORNUS NUTTALLII



12.22.22 *0*5.01.23 07.05.23 \(\)

1/8"=1'-0"

PLANT SCHEDULE *

TREES	BOTANICAL / COMMON NAME	<u>SIZE</u>		<u>aty</u>
	Acer circinatum / Vine Maple Replacement Tree	1.5" Cal, 6' Ht min,		2
	Acer palmatum 'Sango-kaku' / Coral Bark Japanese Maple	2"-2.5" Cal B&B		I
NAMAN MINISTRATION OF THE PARTY	Cornus nuttallii / Pacific Dogwood Replacement Tree	1.5" Cal, 6' Ht min,		2
WINNIAN WANTER	Pinus contorta / Shore Pine Replacement Tree	6'-7' Ht.		2
£ .	Populus tremula 'Erecta' / Swedish Columnar Aspen	1.75" Cal.		3
GROUND COVERS	BOTANICAL / COMMON NAME	<u>SIZE</u>	<u>SPACING</u>	<u>aty</u>
	Ophiopogon japonicus 'Nanus' / Dwarf Mondo Grass	4"pot	15" o.c.	36
	Rubus calycinoides 'Emerald Carpet' / Creeping Raspberry	4"pot	24" o.c.	(116
+ + + + + + + + + + + + + + + + + + +	Sagina subulata / Irish Moss	4"pot	18" o.c.	50
	Sedum rupestre 'Angelina' / Yellow Stonecrop	4"pot	18" o.c.	7
	Turf Sod / Drought Tolerant Fescue Blend	sod		(991 sf)
SITE	BOTANICAL / COMMON NAME	<u>SIZE</u>	<u>SPACING</u>	QTY
	Arborist Chips 3" Depth	N/A		50 sf
	Black Polished Mexican Beach Pebbles I''-2''	N/A		(
	Cobble I"-3"	N/A		43 sf

— TREE STAKE - ROOTBALL

PLANT SCHEDULE *

-2-STRANDS #10 GAUGE WIRE W/ VINYL HOSE

-FLAG WIRES

GUY AT 3 POINTS PER TREE EQUAL SPACED

-FINISH GRADE OF MULCH

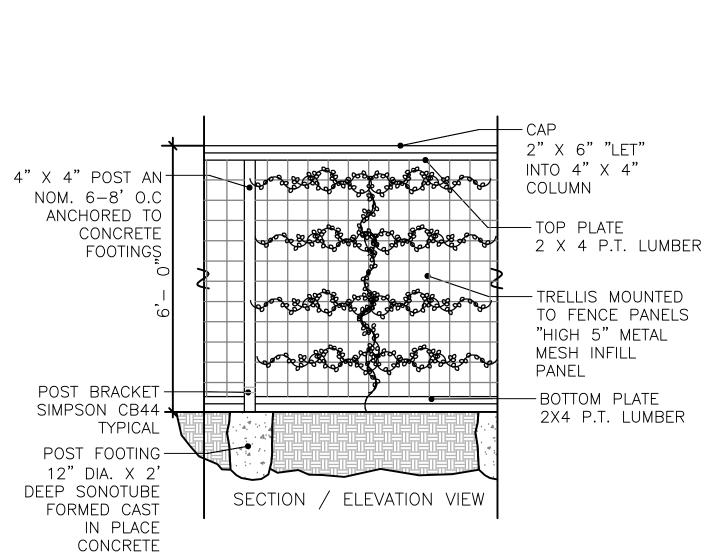
MHERE TREES OCCUR
IN LAWN AREAS, PROVIDE
3' DIA MULCH CIRCLE.

TREE GUY STAKE AS SPECIFIED

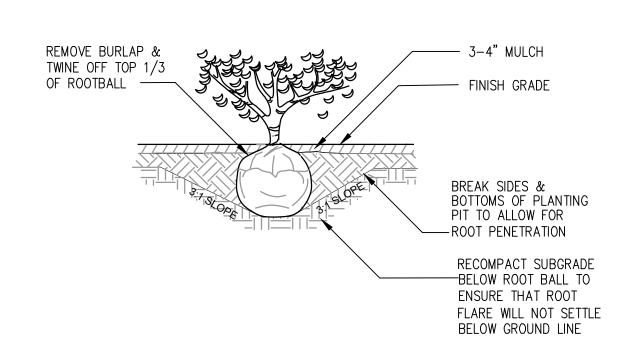
PLANT	SCHEDULE *		
SHRUBS	BOTANICAL / COMMON NAME	<u>SIZE</u>	<u> QTY</u>
\bigoplus	Azalea x 'Gumpo White' / Gumpo White Satsuki Azalea	l gal	4
**************************************	Berberis thunbergii 'Crimson Pygmy' / Crimson Pygmy Barberry	5 gal	6
	Calamagrostis × acutiflora 'Karl Foerster' / Feather Reed Grass	l gal	6
vergen.	Camellia sasanqua 'Yuletide' / Yuletide Camellia	5 gal, Espalier	2
*	Carex oshimensis 'CarfitOl' / EverColorФ Everest Japanese Sedge	l gal	19
*	Carex oshimensis 'Everillo' / Everillo Japanese Sedge	l gal	13
MARKE MARKE	Carex testacea / Orange Sedge	l gal	
	Choisya ternata 'Sundance' / Sundance Mexican Mock Orange	3 gal	9
+	Cotinus coggygria 'Royal Purple' / Royal Purple Smoke Tree	5 gal	
\smile			
+	Gaultheria shallon / Salal	l gal	44
+	Gaultheria shallon / Salal Compared to the company of the compa	ga 20" Ht min	3
÷ ••		~~~~	\sim
+ •	Ilex crenata 'Sky Pencil' / Sky Pencil Japanese Holly	20" Ht min	3
+ (**) •	Ilex crenata 'Sky Pencil' / Sky Pencil Japanese Holly Lonicera pileata 'Moss Green' / Moss Green Honeysuckle	20" Ht min 2 gal	3
	Ilex crenata 'Sky Pencil' / Sky Pencil Japanese Holly Lonicera pileata 'Moss Green' / Moss Green Honeysuckle Mahonia eurybracteata 'Soft Caress' / Mahonia Soft Caress	20" Ht min 2 gal	3 7 3
	Ilex crenata 'Sky Pencil' / Sky Pencil Japanese Holly Lonicera pileata 'Moss Green' / Moss Green Honeysuckle Mahonia eurybracteata 'Soft Caress' / Mahonia Soft Caress Miscanthus sinensis 'Purpurescens' / Purple Eulalia Grass	20" Ht min 2 gal 2 gal 2 gal	3 7 3
	Ilex crenata 'Sky Pencil' / Sky Pencil Japanese Holly Lonicera pileata 'Moss Green' / Moss Green Honeysuckle Mahonia eurybracteata 'Soft Caress' / Mahonia Soft Caress Miscanthus sinensis 'Purpurescens' / Purple Eulalia Grass Phormium tenax / New Zealand Flax	20" Ht min 2 gal 2 gal 2 gal 2 gal 2 gal	3 7 3
	Ilex crenata 'Sky Pencil' / Sky Pencil Japanese Holly Lonicera pileata 'Moss Green' / Moss Green Honeysuckle Mahonia eurybracteata 'Soft Caress' / Mahonia Soft Caress Miscanthus sinensis 'Purpurescens' / Purple Eulalia Grass Phormium tenax / New Zealand Flax Pinus mugo 'Slowmound' / Slowmound Mugo Pine	20" Ht min 2 gal 2 gal 2 gal 2 gal 2 gal 2 gal	3 3 3
	Ilex crenata 'Sky Pencil' / Sky Pencil Japanese Holly Lonicera pileata 'Moss Green' / Moss Green Honeysuckle Mahonia eurybracteata 'Soft Caress' / Mahonia Soft Caress Miscanthus sinensis 'Purpurescens' / Purple Eulalia Grass Phormium tenax / New Zealand Flax Pinus mugo 'Slowmound' / Slowmound Mugo Pine Polystichum polyblepharum / Japanese Tassel Fern	20" Ht min 2 gal 2 gal 2 gal 2 gal 2 gal 2 gal 1 gal	3 7 3 3 1 6

LIGHTING SCHEDULE *

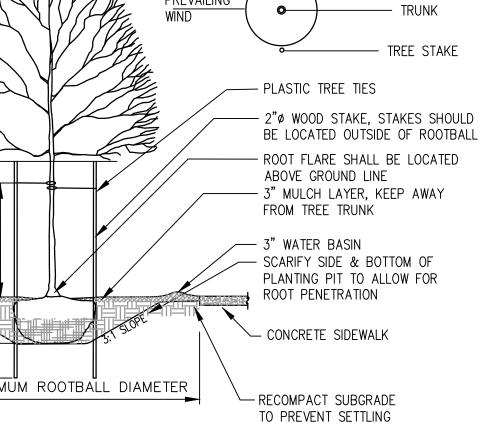
<u>SYMBOL</u>	MANUFACTURER/MODEL/DESCRIPTION	<u> QTY</u>
	FX Luminaire M-PL Die-cast aluminum path light with powder-coated finish. 2.2in. W × 7.4in. W × 21.3in. H. Order code: M-PL, Aluminum, (FB) Flat Black, Deck Mount Lamp: M-PL-ILED, 2WI2.4VA, 2700K, Beamspread: Flood	דו
4 ≒	UP LIGHT Lamp: LED	4
	FX Luminaire RH Recessed wall/step light. Order code: RH, Aluminum, (FB) Flat Black, Direct Mount Lamp: RH-ILED, I.9W 2.2VA, 2700K, Beamspread: Wide	15
[]	FX Luminaire H5 H5 floor-grazing, recessed hardscape light. 8in. W x 2.3in. H x 4.5in. D. Order code: H5, Aluminum, (FB) Flat Black Lamp: H5-2LED, 3.5WI3.8VA, 2700K, Beamspread: Wide	2







TYPICAL SHRUB PLANTING DETAIL



3x MINIMUM ROOTBALL DIAMETER NOTES: 1. TREE PIT SHALL NOT BE LESS 4. TREE STAKES PERPENDICULAR THAN (3) TIMES ROOT BALL DIA. TO THE PREVAILING WIND 2. CUT ALL TIES AND FOLD BACK BURLAP 5. PLANT TREES 2" HIGHER THAN FROM UPPER 1/3 OF ROOT BALL DEPTH GROWN IN NURSERY DEPTH GROWN IN NURSERY 3. REMOVE ALL PLASTIC AND TWINE

TYPICAL DECIDUOUS TREE PLANTING DETAIL

GRADE

TYPICAL EVERGREEN TREE PLANTING DETAIL



PLAN VIEW OF SPACING

SCORE ROOTBALL
3 PLACES TO 1/2" DEPTH AROUND ROOTBALL
INSTALL 1" ABOVE BACKFILL W/
CONTAINER DEPTH APPROVED TOPSOIL

INSTALL GROUNDCOVERS AS SPECIFIED

__TOP_DRESSING FERTILIZER AS SPECIFIED

MULCH. VERIFY SAUCER

PLANTING BED

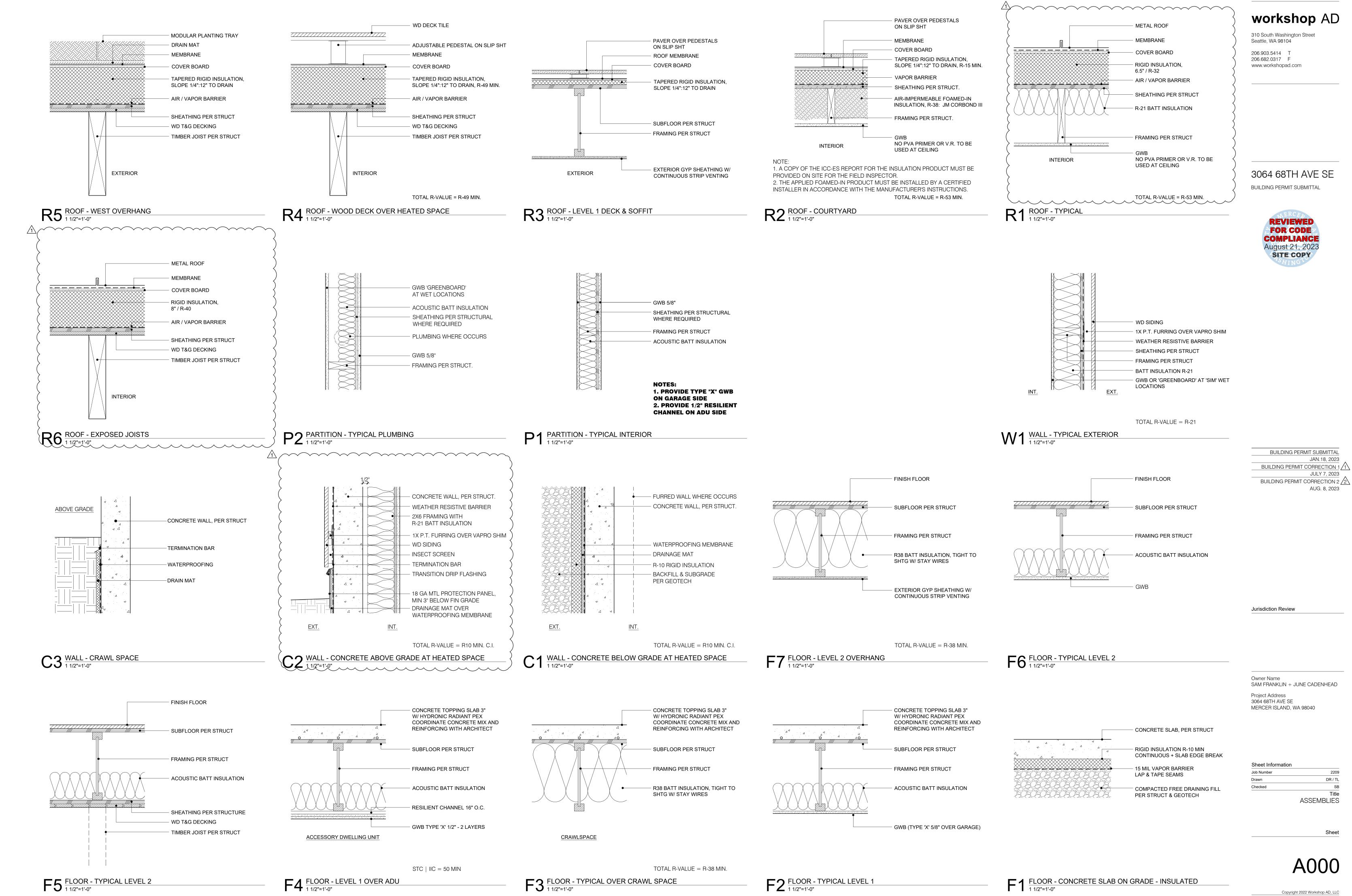
WITH 2"

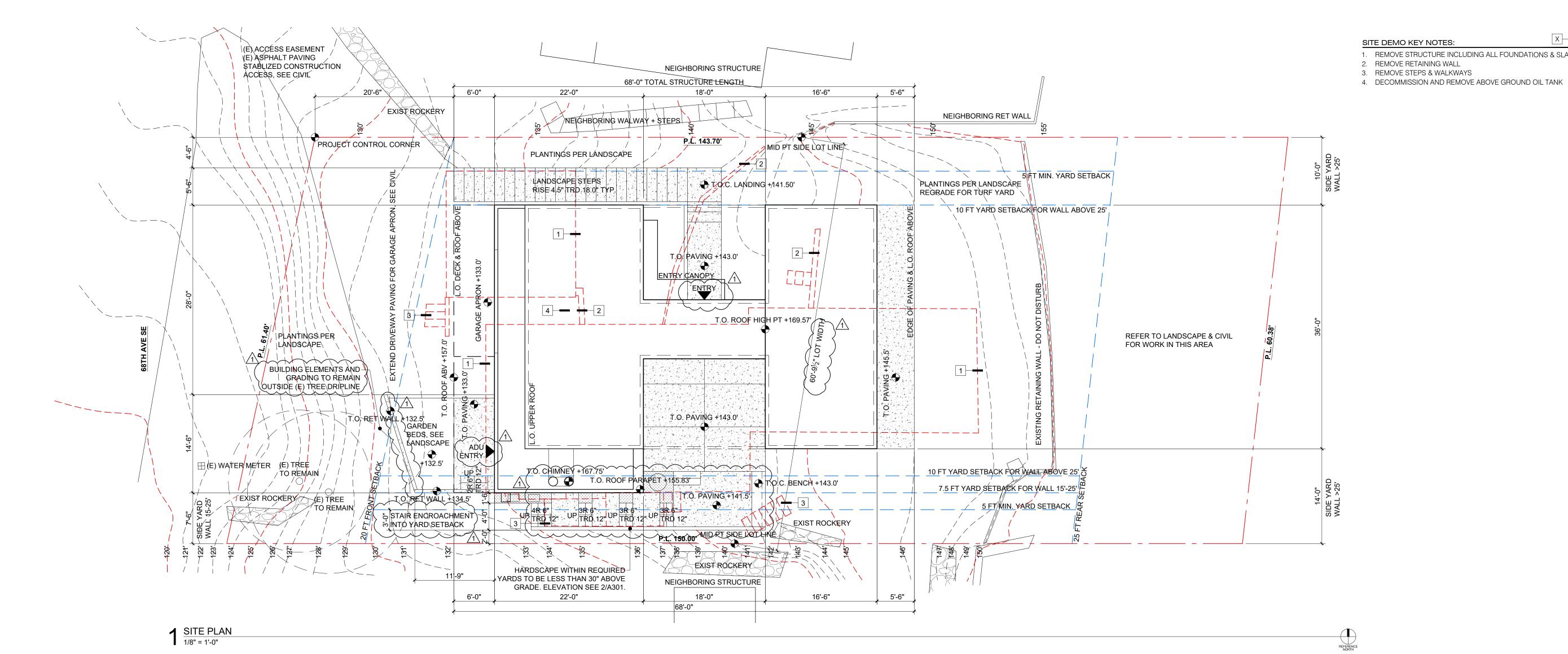
MULCH

PROJECT TITLE

12.22.22 KJREVISED KJ *0*5.01.23 07.05.23 🖊

NTS





workshop AD 1. REMOVE STRUCTURE INCLUDING ALL FOUNDATIONS & SLABS

310 South Washington Street

Seattle, WA 98104

206.903.5414 T 206.682.0317 F www.workshopad.com

> 3064 68TH AVE SE BUILDING PERMIT SUBMITTAL

COMPLIANCE August 21, 2023

SITE COPY

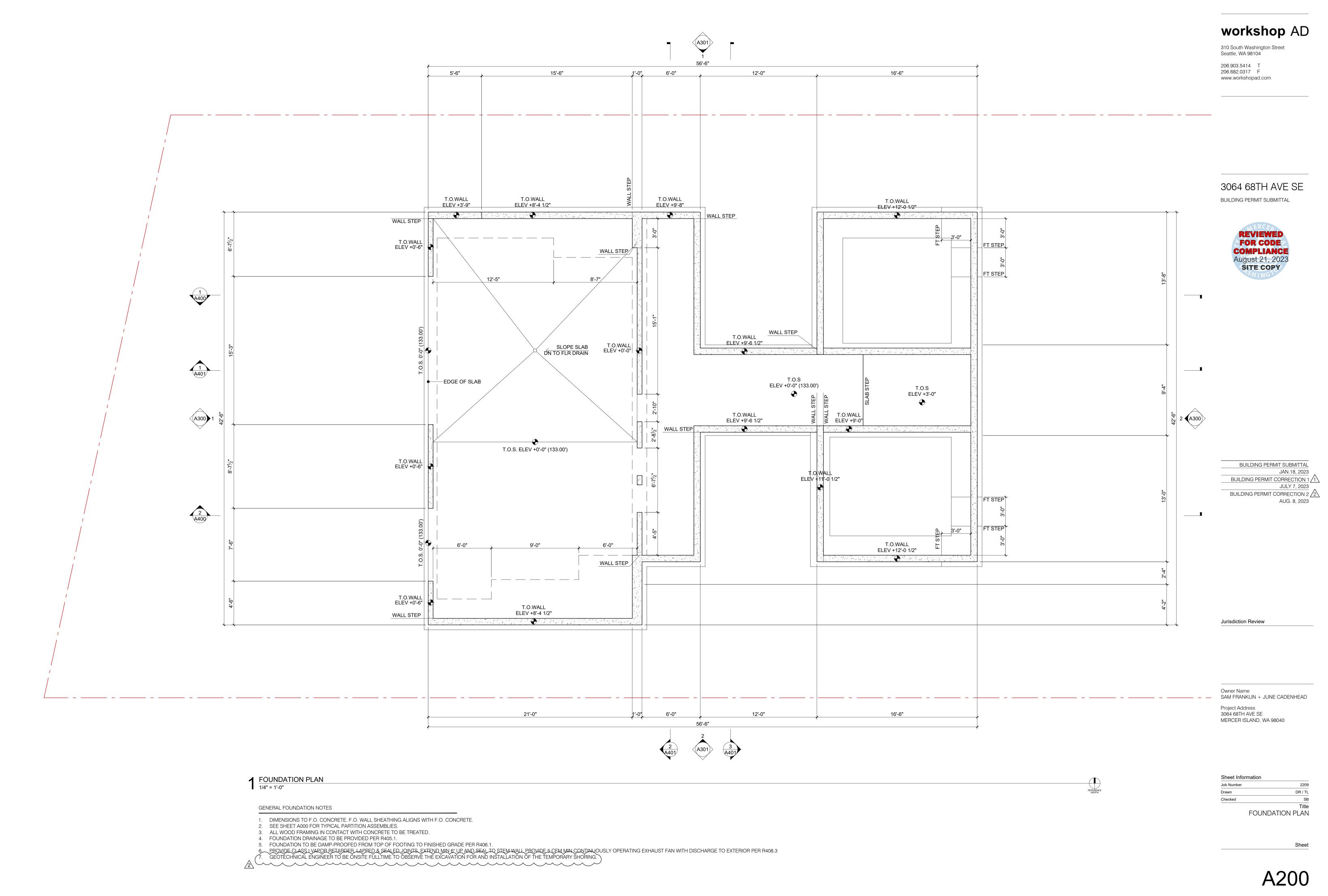
BUILDING PERMIT SUBMITTAL BUILDING PERMIT CORRECTION 1 JULY 7, 2023 BUILDING PERMIT CORRECTION 2 AUG. 8, 2023

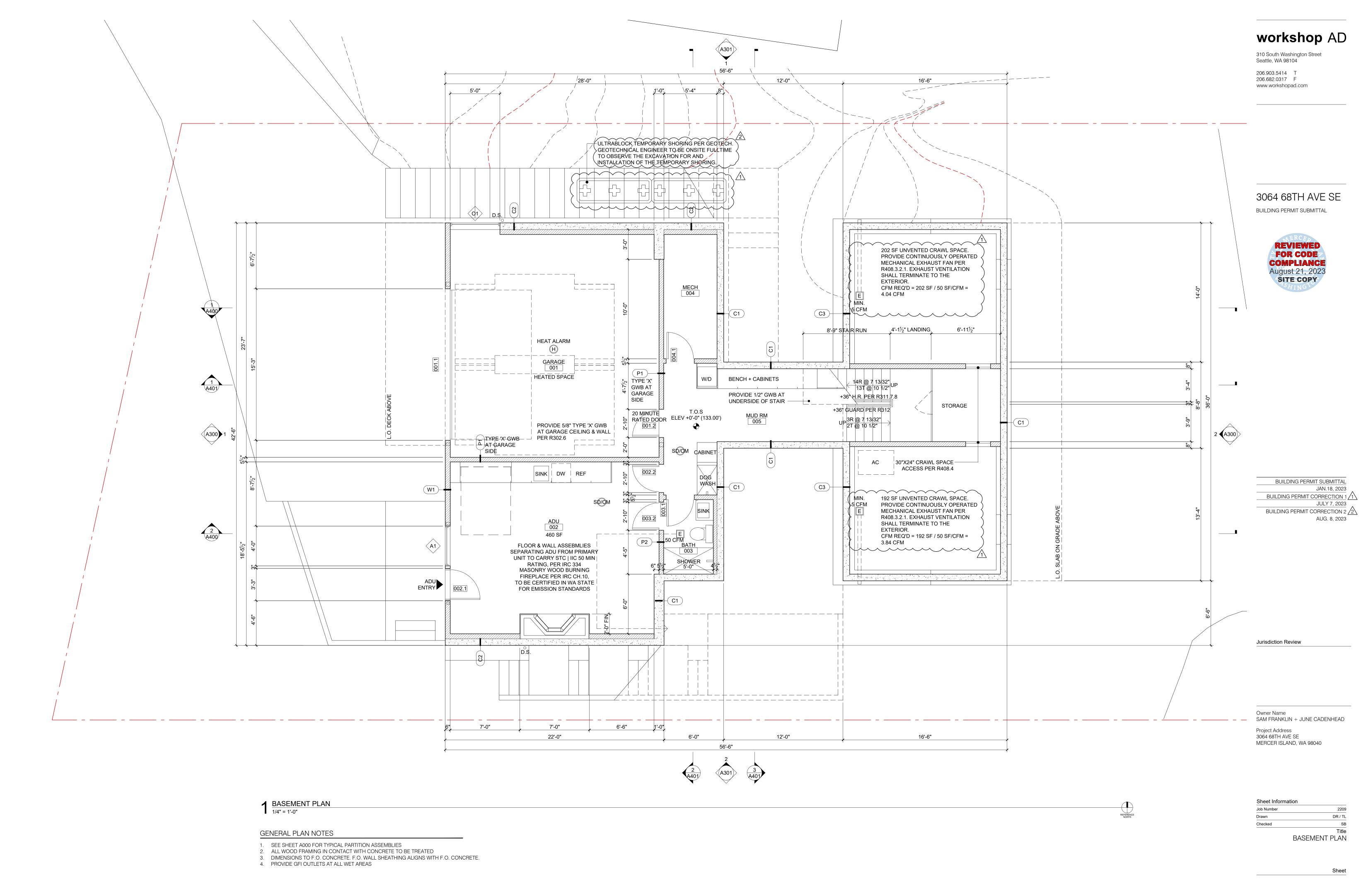
Jurisdiction Review

Owner Name SAM FRANKLIN + JUNE CADENHEAD Project Address 3064 68TH AVE SE MERCER ISLAND, WA 98040

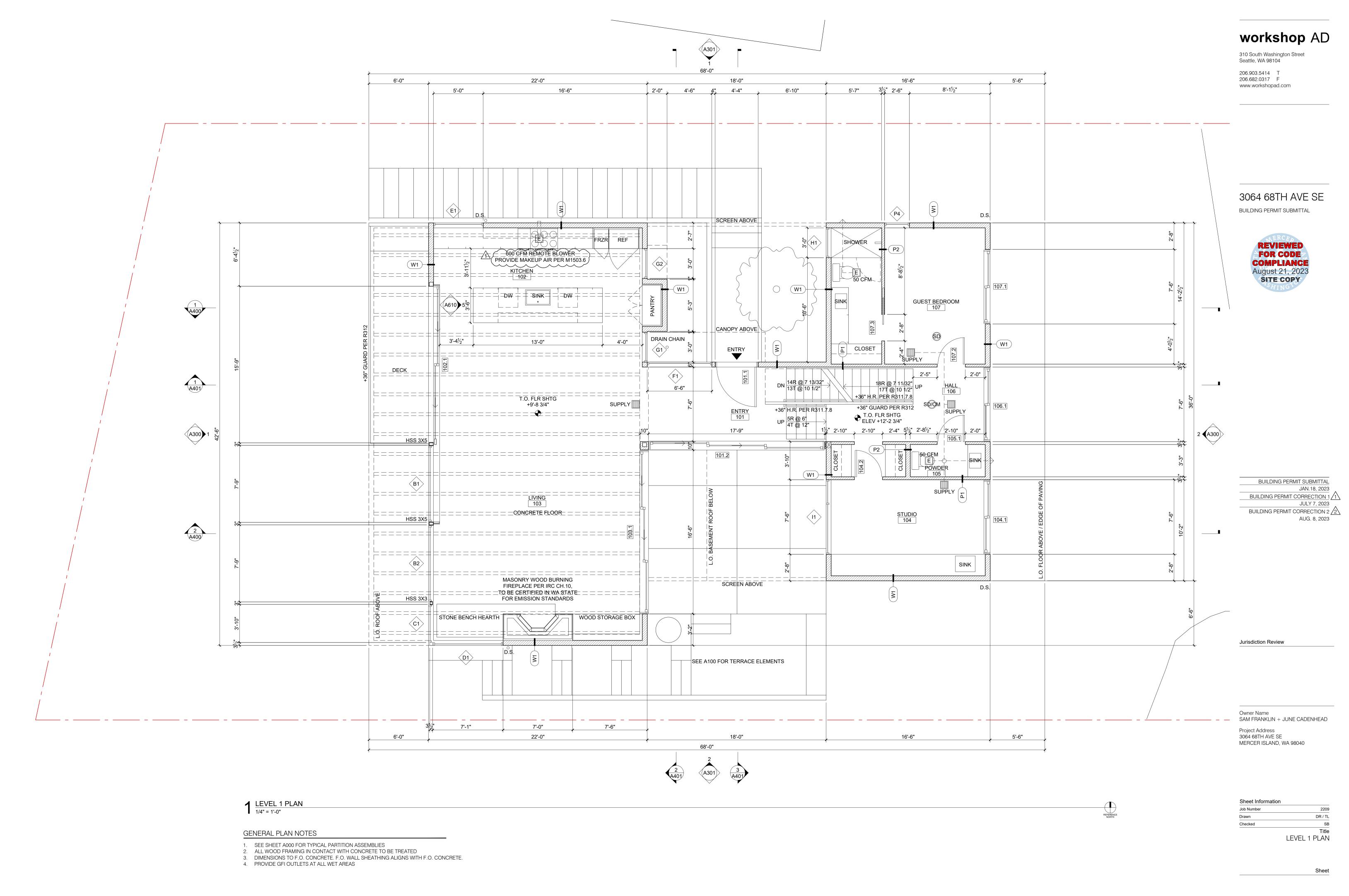
Sheet Information Job Number 2209 DR / TL SITE PLAN

Sheet

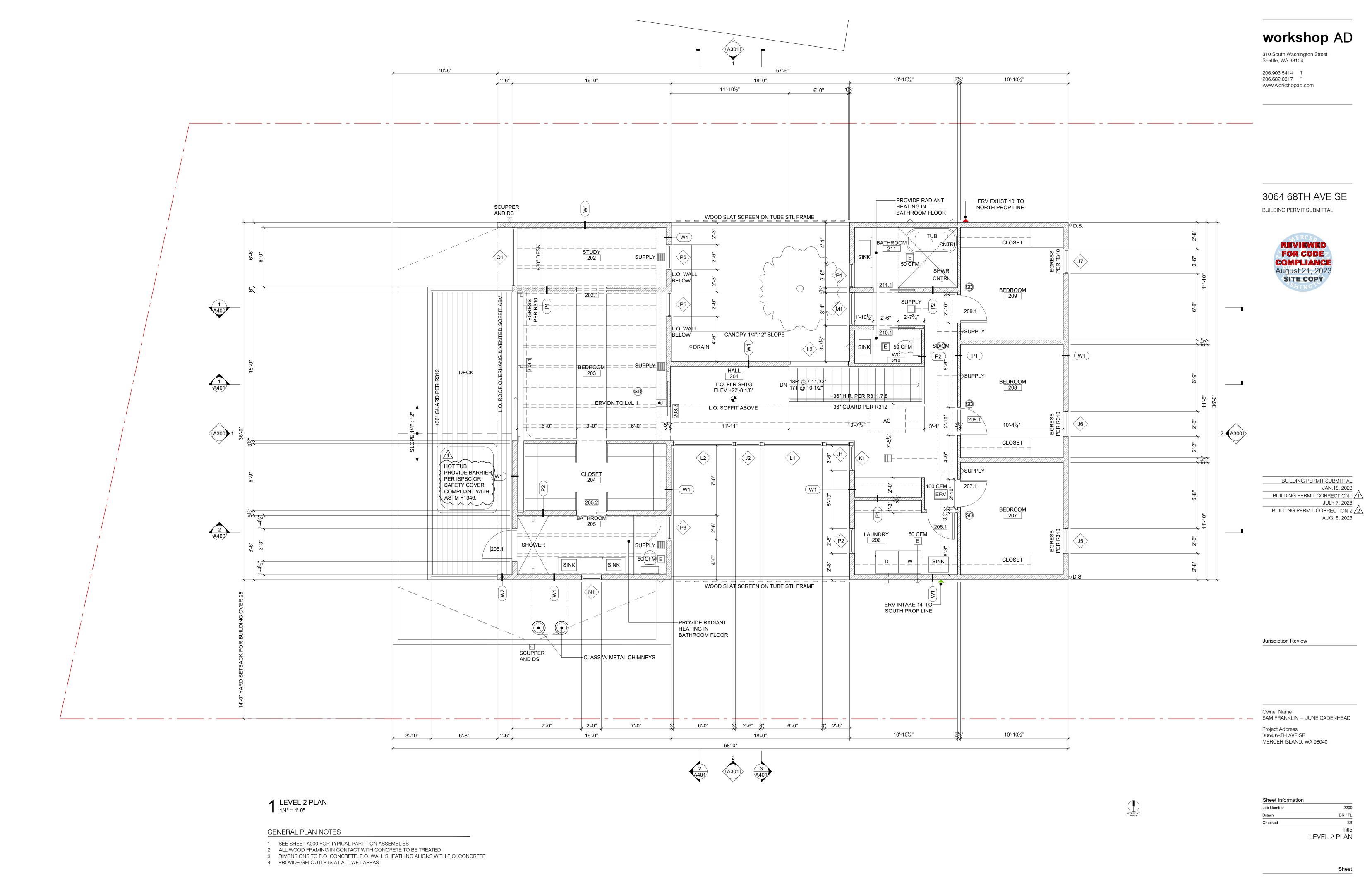




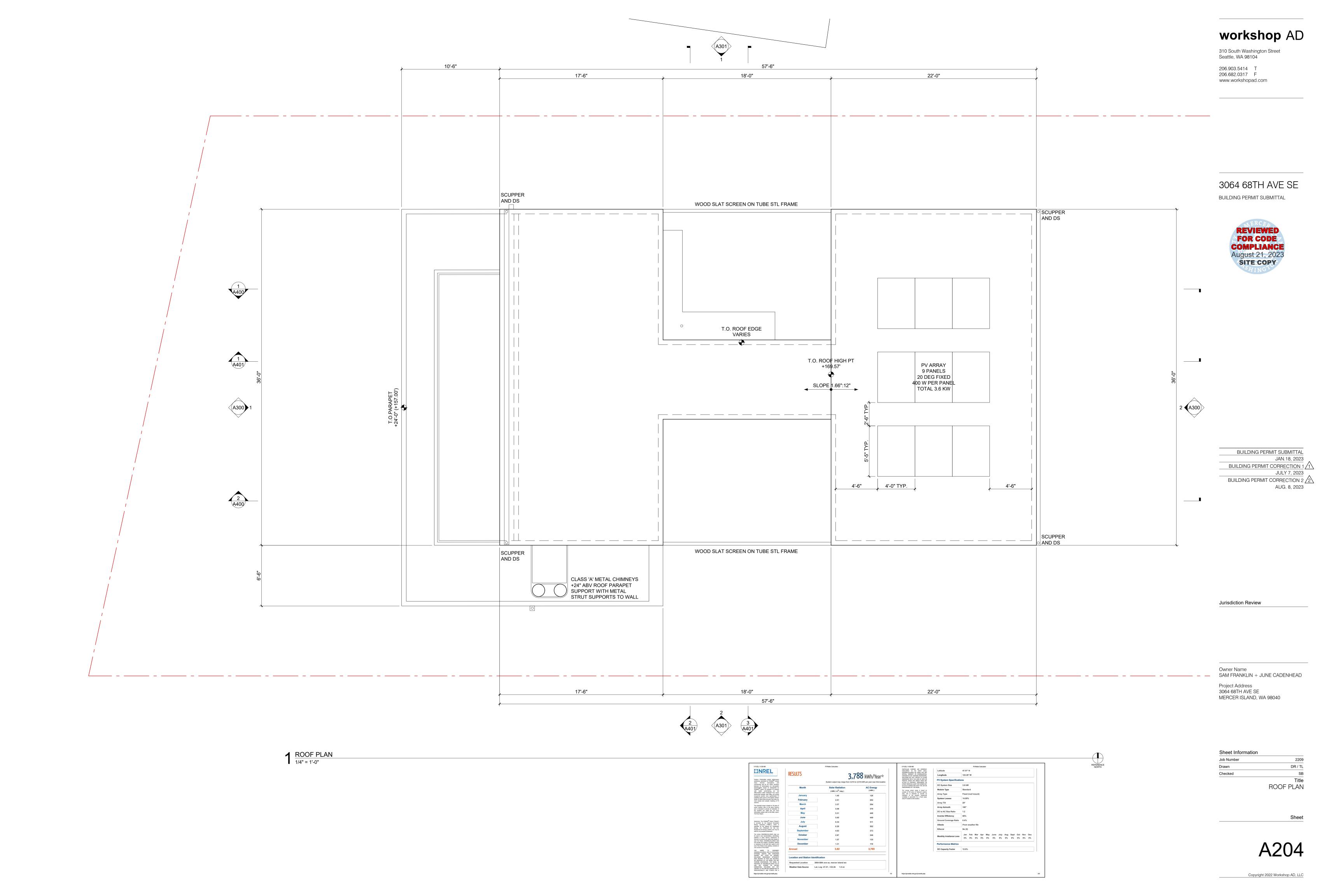
A201

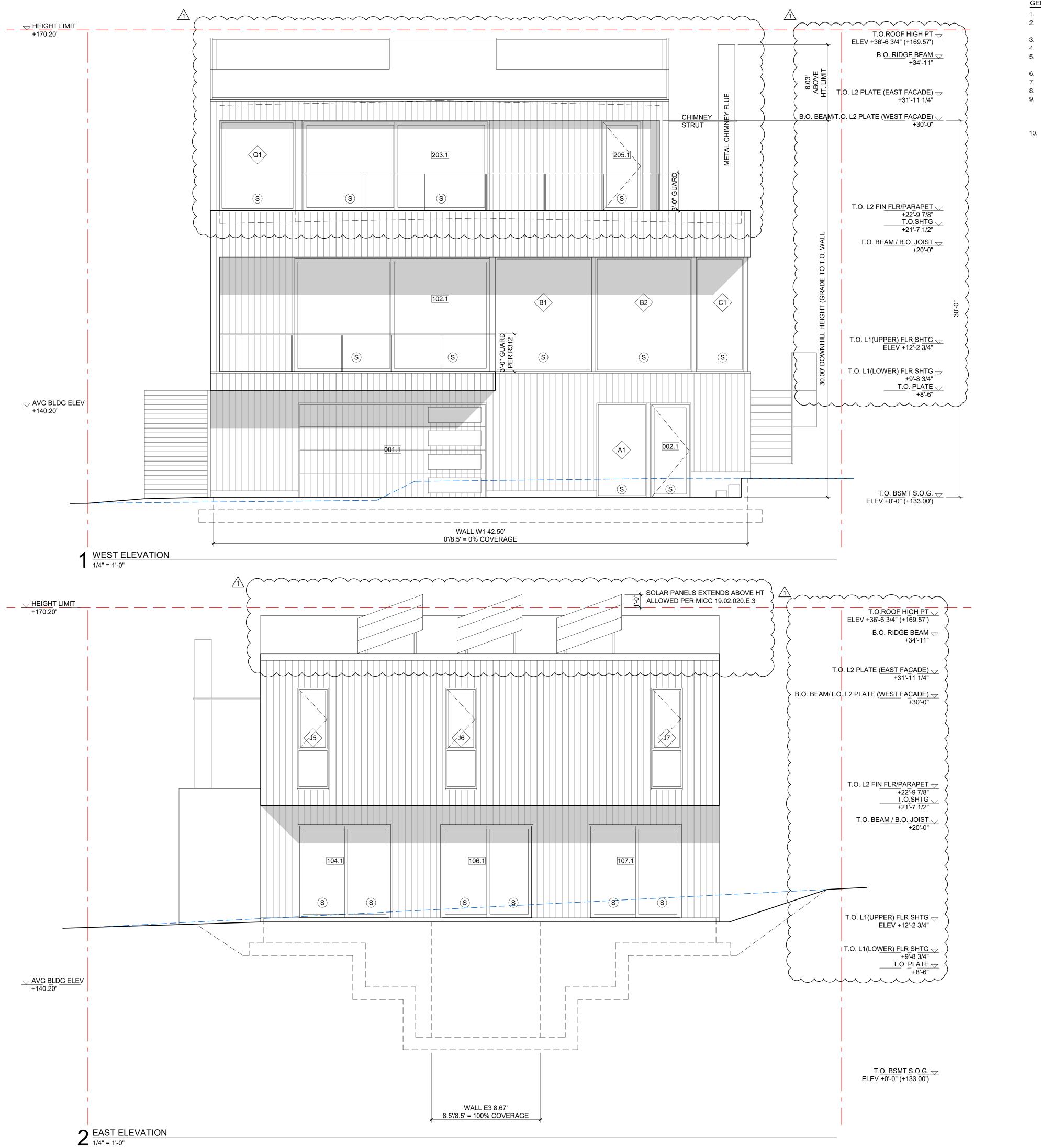


A202



A203





GENERAL ELEVATION & SECTION NOTES:

- SAFETY GLAZING (S) REQUIRED PER R308.
 VERTICAL GLAZING TO HAVE A MAX. U-VALUE OF 0.28 PER
- PRESCRIPTIVE REQUIREMENTS SEE G000.

 3. SEE A800 FOR DOOR & WINDOW SCHEDULES.
- 4. EGRESS PER R310 & R311.5. EXHAUST OUTLETS TO BE A MINIMUM OF (3) THREE FEET
- FROM ANY OPENING.
- 6. SEE A000 FOR FLOOR, WALL, AND ROOF ASSEMBLIES.
- HANDRAIL REQUIREMENTS PER R311.7.8
 GUARDS PER R312.1.3, MAX 4-INCH SPHERE PASS THROUGH.
 PER R301.5 GUARD INFILL COMPONENTS DESIGNED TO
- 9. PER R301.5 GUARD INFILL COMPONENTS DESIGNED TO WITHSTAND A HORIZONTALLY NORMAL APPLIED LOAD OF 50 PSF ON AN AREA EQUAL TO ONE SQFT. ALL TOP RAILS TO RESIST A 200 LB CONCENTRATED LOAD.
- 10. PROVIDE STRIP VENTILATION AT EAVES PER R806.

workshop AD

310 South Washington Street Seattle, WA 98104

206.903.5414 T 206.682.0317 F www.workshopad.com

3064 68TH AVE SE

BUILDING PERMIT SUBMITTAL



BUILDING PERMIT SUBMITTAL

JAN.18, 2023

BUILDING PERMIT CORRECTION 1

JULY 7, 2023

BUILDING PERMIT CORRECTION 2

AUG. 8, 2023

Jurisdiction Review

Owner Name SAM FRANKLIN + JUNE CADENHEAD Project Address 3064 68TH AVE SE

MERCER ISLAND, WA 98040

Sheet Information

Job Number 2209

Drawn DR / TL

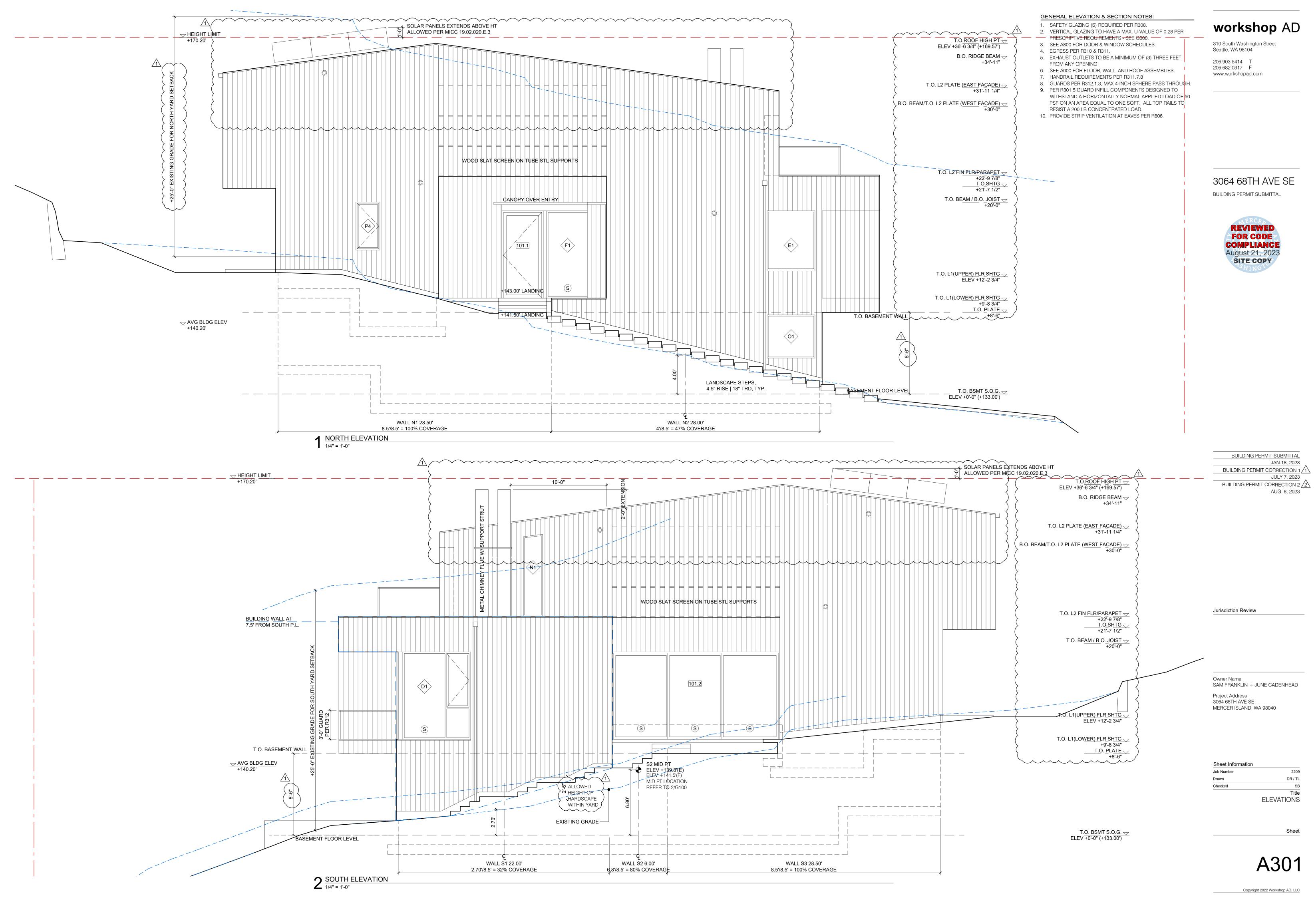
Checked SB

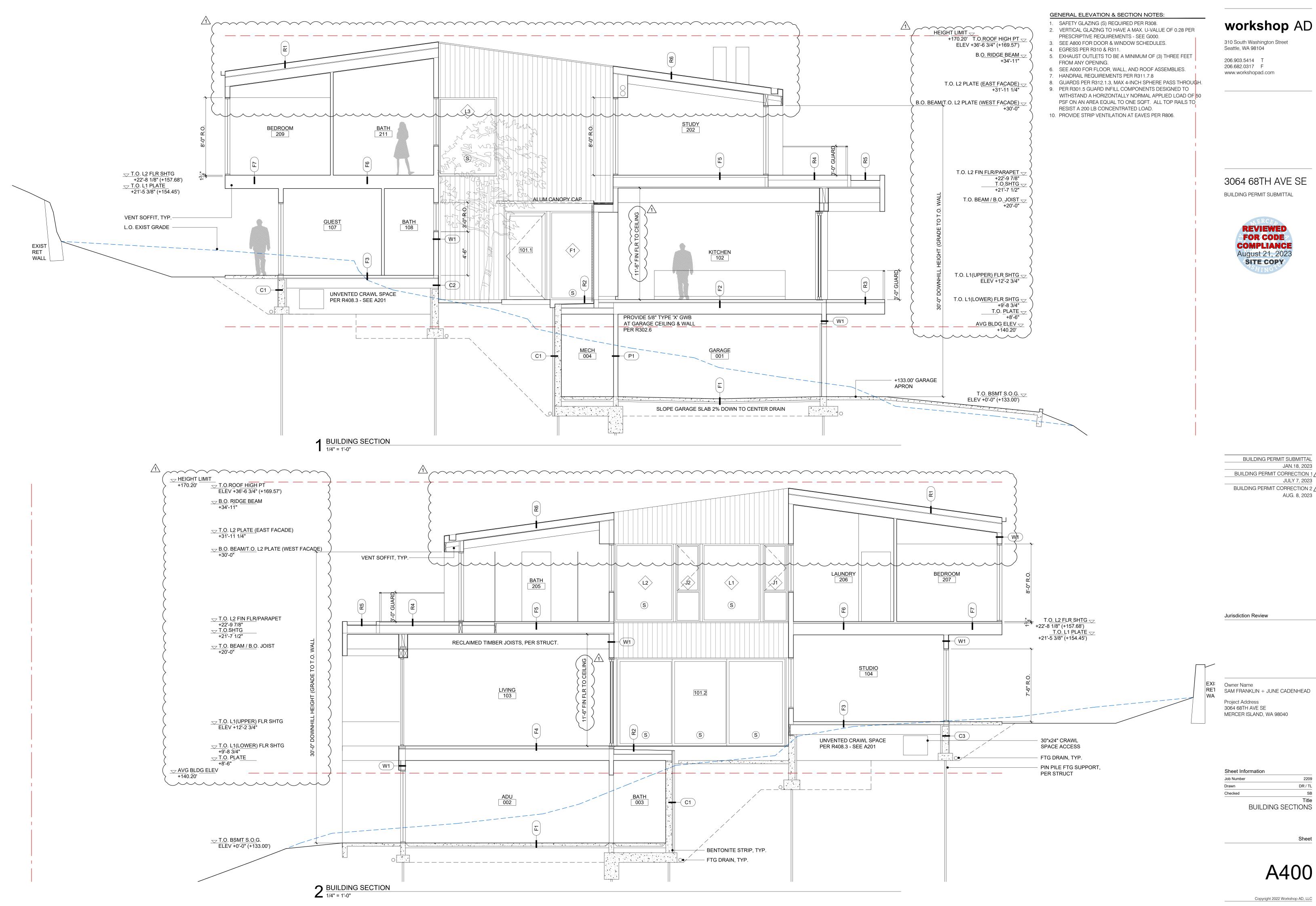
Title

ELEVATIONS

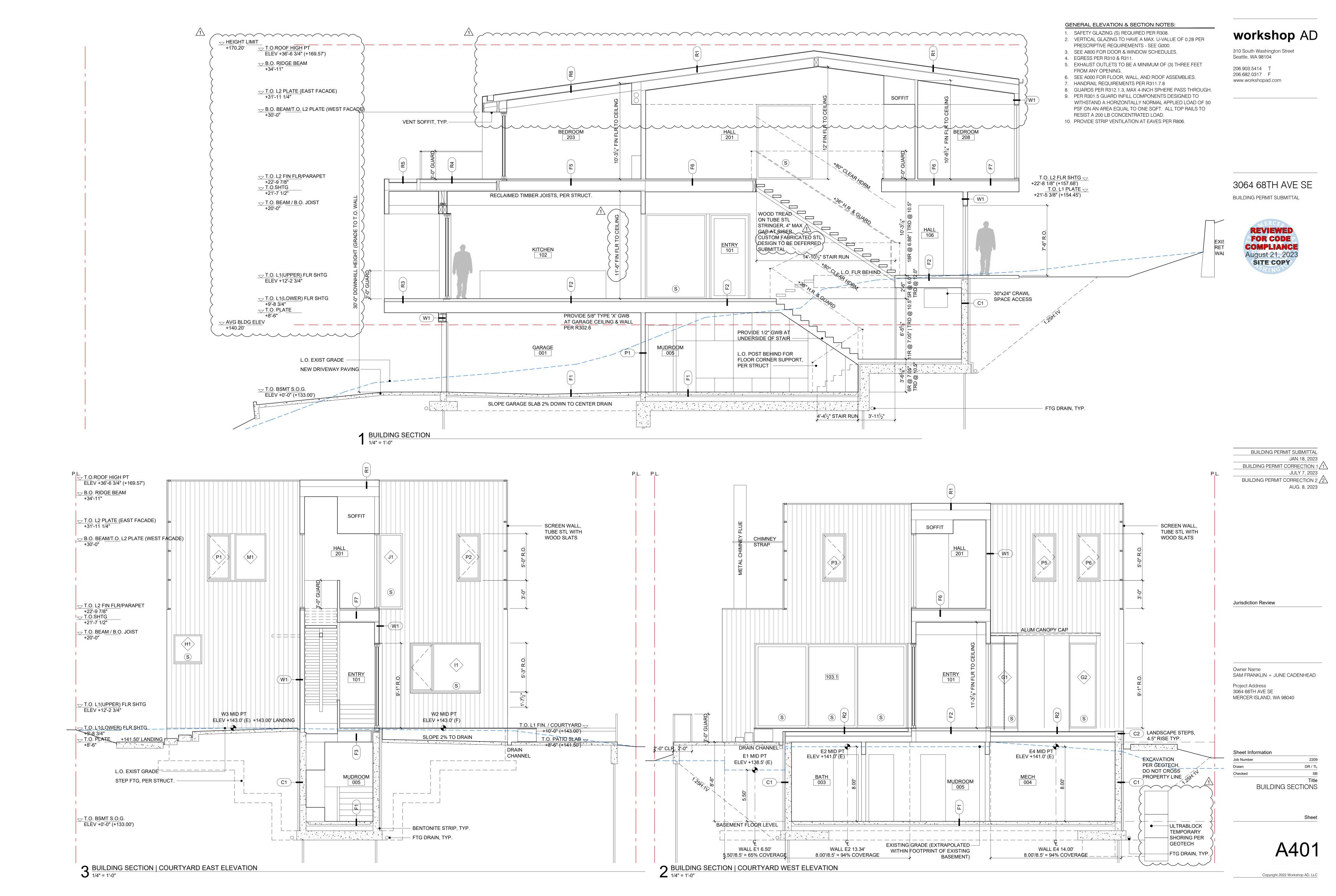
Sheet

A300





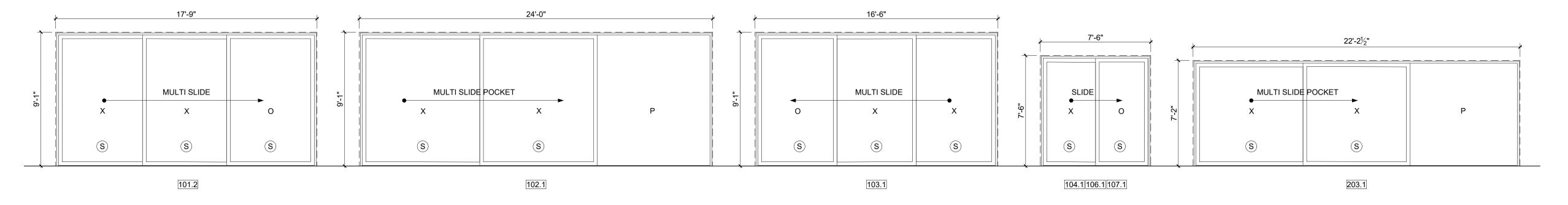
BUILDING PERMIT SUBMITTAL BUILDING PERMIT CORRECTION 1 /1 JULY 7, 2023 BUILDING PERMIT CORRECTION 2



GRAPHIC WINDOW SCHEDULE 1/4" = 1'-0"

ARK	ROOM NUMBER	R.O. WDTH (In.)	R.O. HEIGHT (In.)	MATL.	TYPE	GLASS	REMARKS	QA	U-VALUE	AREA (SF)	J*AREA
Α	002	48.0	90.0	FIBERGLASS	PICTURE	SG	MARVIN ESSENTIAL	1	0.28	30.0	8.40
В	103	92.0	109.0	FIBERGLASS	PICTURE	SG	MARVIN SIGNATURE MODERN	2	0.28	139.3	78.00
С	103	45.5	109.0	FIBERGLASS	PICTURE	SG	MARVIN SIGNATURE MODERN	1	0.28	34.4	9.64
D	103	85.0	109.0	FIBERGLASS	CASEMENT-PICT COMBO	SG	MARVIN SIGNATURE MODERN	1	0.28	64.3	18.02
Е	102	60.0	74.0	FIBERGLASS	PICTURE		MARVIN SIGNATURE MODERN	1	0.28	30.8	8.63
F	101	78.0	109.0	FIBERGLASS	PICTURE	SG	MARVIN SIGNATURE MODERN	1	0.28	59.0	16.53
G	102	36.0	109.0	FIBERGLASS	PICTURE	SG	MARVIN SIGNATURE MODERN	2	0.28	54.5	30.52
Н	107	36.0	36.0	FIBERGLASS	PICTURE	SG	MARVIN ESSENTIAL	1	0.28	9.0	2.52
ı	104	90.0	63.0	FIBERGLASS	CASEMENT-PICT COMBO	SG	MARVIN ESSENTIAL	1	0.28	39.4	11.03
J	201, 207, 208, 209	30.0	96.0	FIBERGLASS	CASEMENT-PICT COMBO		MARVIN ESSENTIAL, EGRESS PER PLAN LOCATIONS	5	0.28	100.0	140.00
K	201	30.0	96.0	FIBERGLASS	PICTURE	SG	MARVIN ESSENTIAL	1	0.28	20.0	5.60
L	201	72.0	96.0	FIBERGLASS	PICTURE	SG	MARVIN ESSENTIAL	3	0.28	144.0	120.96
M	210	40.0	60.0	FIBERGLASS	PICTURE	SG	MARVIN ESSENTIAL	1	0.28	16.7	4.67
N	205	24.0	99.5 / 102.5	FIBERGLASS	PICTURE	SG	MARVIN ESSENTIAL	1	0.28	16.8	4.70
0	001	60.0	57.0	FIBERGLASS	PICTURE		MARVIN ESSENTIAL	1	0.28	23.8	6.65
Р	107,202,203,205,206,211	30.0	60.0	FIBERGLASS	CASEMENT		MARVIN ESSENTIAL	6	0.28	75.0	126.00
Q	202	72.0	86.0	FIBERGLASS	PICTURE	SG	MARVIN ESSENTIAL	1	0.28	43.0	12.04
							WINDOW TOTAL	. 30		900.0	603.90
							WINDOW AVERAGE U-VALUE		0.280		

15'-3" 15'-3" 4'-1½" 3'-3" 4'-1½" 50 101.1 106.1



812.7 227.56

DOOR TOTAL

DOOR AVERAGE U-VALUE 0.280

DOOR SCHEDULE - INTERIOR NO. LOCATION

001.2 GARAGE

211.1 BATHROOM

PANEL WIDTH PANEL HEIGHT THICKNESS

1-3/8"

2 GRAPHIC DOOR SCHEDULE 1/4" = 1'-0"

DOOR S	SCHEDULE - EX	TERIOR											
NO.	LOCATION	R.O. WIDTH	R.O. HEIGHT	SWING	THICK.	FRAME	HARDWARE	MATL.	REMARKS	QA	U-VALUE	AREA (SF)	U*AREA
001.1	GARAGE	15'-3"	7'-7 1/2"	OVRHD	-	-	-	-	INSULATED, WOOD SIDING, 1.5 HP MIN.	1			
002.1	ADU ENTRY	3'-3"	7'-6"	IN	1 3/4"	4 9/16"	MINIMALIST	FIBERGLASS	MARVIN SIGNATURE MODERN, SG	1	0.28	24.4	6.83
101.1	MAIN ENTRY	4'-0"	9'-1"	IN	1 3/4"	4 9/16"	MINIMALIST	FIBERGLASS	MARVIN SIGNATURE MODERN, SG	1	0.28	36.3	10.16
101.2	ENTRY COURT	17'-9"	9'-1"	M.SLIDE	2 1/4"	10"	MINIMALIST	FIBERGLASS	MARVIN SIGNATURE MODERN, XXO, SG	1	0.28	161.2	45.14
102.1	KITCHEN	24'-0"	9'-1"	M.SLIDE	2 1/4"	7"	MINIMALIST	FIBERGLASS	MARVIN SIGNATURE MODERN, XXPCKT, SG	1	0.28	140.7	39.40
103.1	LIVING	16'-6"	9'-1"	M.SLIDE	2 1/4"	10"	MINIMALIST	FIBERGLASS	MARVIN SIGNATURE MODERN, OXX, SG	1	0.28	149.8	41.94
104.1	STUDIO	7'-6"	7'-6"	M.SLIDE	2 1/4"	7"	MINIMALIST	FIBERGLASS	MARVIN SIGNATURE MODERN, OX, SG	1	0.28	56.3	15.76
106.1	HALL	7'-6"	7'-6"	M.SLIDE	2 1/4"	7"	MINIMALIST	FIBERGLASS	MARVIN SIGNATURE MODERN, OX, SG	1	0.28	56.3	15.76
107.1	GUEST BED	7'-6"	7'-6"	M.SLIDE	2 1/4"	7"	MINIMALIST	FIBERGLASS	MARVIN SIGNATURE MODERN, OX, SG	1	0.28	56.3	15.76
205.1	BATH	3'-3"	7'-2"	OUT	1 3/4"	4 9/16"	MINIMALIST	FIBERGLASS	MARVIN SIGNATURE MODERN, SG	1	0.28	23.4	6.55
203.1	BEDROOM	22'-2 1/2"	7'-2"	M.SLIDE	2 1/4"	7"	MINIMALIST	FIBERGLASS	MARVIN SIGNATURE MODERN, XXPCKT, SG	1	0.28	108.0	30.24

002.2	ADU	2'-8"	7'-0"	1-3/8"	SOLID CORE PRIVACY	WD, PTD	GASKETED ACOUSTIC SEALS	1
003.1	ADU BATH	2'-8"	7'-0"	1-3/8"	SOLID CORE PRIVACY	WD, PTD	GASKETED ACOUSTIC SEALS	1
003.2	ADU BATH	2'-8"	7'-0"	1-3/8"	SOLID CORE PRIVACY	WD, PTD	GASKETED ACOUSTIC SEALS	1
004.1	MECHANICAL	2'-8"	7'-0"	1-3/8"	SOLID CORE PASSAGE	WD, PTD	GASKETED ACOUSTIC SEALS	1
104.2	STUDIO	2'-8"	7'-0"	1-3/8"	SOLID CORE PRIVACY	WD, PTD		1
105.1	POWDER	2'-8"	7'-0"	1-3/8"	SOLID CORE PRIVACY	WD, PTD		1
107.2	GUEST BEDROOM	2'-8"	7'-0"	1-3/8"	SOLID CORE PRIVACY	WD, PTD		1
107.3	GUEST BATH	2'-8"	7'-0"	1-3/8"	SOLID CORE PRIVACY	WD, PTD	POCKET SLIDER	1
202.1	STUDY	3'-0"	8'-0"	1-3/4"	SOLID CORE PRIVACY	WD, PTD	POCKET SLIDER	1
203.2	BEDROOM	3'-6"	8'-0"	1-3/4"	SOLID CORE PRIVACY	WD, PTD	POCKET SLIDER	1
205.2	BATHROOM	3'-0"	8'-0"	1-3/4"	SOLID CORE PRIVACY	WD, PTD	POCKET SLIDER	1
206.1	LAUNDRY	2'-8"	7'-0"	1-3/8"	SOLID CORE PASSAGE	WD, PTD		1
207.1	BEDROOM	2'-8"	7'-0"	1-3/8"	SOLID CORE PRIVACY	WD, PTD		1
208.1	BEDROOM	2'-8"	7'-0"	1-3/8"	SOLID CORE PRIVACY	WD, PTD		1
209.1	BEDROOM	2'-8"	7'-0"	1-3/8"	SOLID CORE PRIVACY	WD, PTD		1
210.1	WATERCLOSET	2'-6"	7'-0"	1-3/8"	SOLID CORE PRIVACY	WD, PTD	POCKET SLIDER	1

TYPE HARDWARE MATL.
SOLID CORE SECURITY WD, PTD

SOLID CORE PRIVACY WD, PTD

REMARKS

POCKET SLIDER

20 MIN. GASKETED SEALS & SPRING HINGES

WINDOW | DOOR NOTES

ALL UNITS DRAWN AS VIEWED FROM THE EXTERIOR.
 REFER TO ELEVATIONS FOR SAFETY GLAZING LOCATIONS.
 ALL GLAZING IN EXTERIOR DOORS TO BE SAFETY GLAZING.

9. CONFIRM SCREEN REQ'S AT OPERABLE UNITS WITH OWNER.

4. ALL WINDOW DIMENSIONS ON GRAPHIC SCHEDULE ARE ROUGH OPENING DIMENSIONS, U.N.O.

PROVIDE SPACE BELOW EXTERIOR DOOR SILL FRAMES FOR FLASHING, AS REQUIRED.
 ALIGN TOP OF DOOR FRAME WITH TOP OF ADJACENT WINDOW FRAMES, AT ALL LOCATIONS.

5. ALL EXTERIOR DOOR DIMENSIONS ON GRAPHIC SCHEDULE ARE ROUGH OPENING DIMENSIONS, U.N.O.
 6. VERTICAL DIMENSION OF EXTERIOR DOOR ROUGH OPENING IS MEASURED FROM BOTTOM OF SILL FRAME.

workshop AD

310 South Washington Street Seattle, WA 98104

206.903.5414 T 206.682.0317 F www.workshopad.com

3064 68TH AVE SE BUILDING PERMIT SUBMITTAL



BUILDING PERMIT SUBMITTAL

JAN.18, 2023

BUILDING PERMIT CORRECTION 1

JULY 7, 2023

BUILDING PERMIT CORRECTION 2

ALIG 8, 2023

Jurisdiction Review

Owner Name
SAM FRANKLIN + JUNE CADENHEAD
Project Address
3064 68TH AVE SE

MERCER ISLAND, WA 98040

QA

Sheet Info	rmation
Job Number	220
Drawn	DR / T
Checked	\$
	Tit WINDOW AND DOO SCHEDULE

A900

GENERAL STRUCTURAL NOTES (THE FOLLOWING APPLY UNLESS SHOWN OTHERWISE ON THE PLANS)

CRITERIA

- 1. ALL MATERIALS, WORKMANSHIP, DESIGN, AND CONSTRUCTION SHALL CONFORM TO THE DRAWINGS, SPECIFICATIONS, THE INTERNATIONAL BUILDING CODE (2018 EDITION).
- 2. DESIGN LOADING CRITERIA:

FLOOR LIVE LOAD (RESIDENTIAL)	
WIND: BASIC WIND SPEED (3-SECOND GUST)	
EARTHQUAKE: LAT. / LONG	

REFERENCE: ASCE 7 HAZARDS REPORT

- 3. STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS FOR BIDDING AND CONSTRUCTION. CONTRACTOR SHALL VERIFY DIMENSIONS AND CONDITIONS FOR COMPATIBILITY AND SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
- 4. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING ANY WORK AND DETERMINE THE LOCATION OF ALL ADJACENT UNDERGROUND UTILITIES PRIOR TO COMMENCING EXCAVATION, AND NOTIFY ARCHITECT OF DISCREPANCIES AND CONFLICTS.
- 5. CONTRACTOR SHALL PROVIDE TEMPORARY BRACING FOR THE STRUCTURE AND STRUCTURAL COMPONENTS UNTIL ALL FINAL CONNECTIONS HAVE BEEN COMPLETED IN ACCORDANCE WITH THE PLANS.
- 6. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS AND THE METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES REQUIRED TO PERFORM THE WORK. THE STRUCTURAL ENGINEER HAS NO OVERALL SUPERVISORY AUTHORITY OR ACTUAL AND/OR DIRECT RESPONSIBILITY FOR THE SPECIFIC WORKING CONDITIONS AT THE SITE AND/OR FOR ANY HAZARDS RESULTING FROM THE ACTIONS OF ANY TRADE CON-TRACTOR. THE STRUCTURAL ENGINEER HAS NO DUTY TO INSPECT, SUPERVISE, NOTE. CORRECT, OR REPORT ANY HEALTH OR SAFETY DEFICIENCIES OF THE OWNER, CON-CONTRACTORS. OR OTHER ENTITIES OR PERSONS AT THE PROJECT SITE.
- 7. SPECIAL INSPECTION OF THE FOLLOWING TYPES OF CONSTRUCTION SHALL BE PROVIDED IN ACCORDANCE WITH SECTIONS 110 AND 1704 OF THE INTERNATIONAL BUILDING CODE AND THE PROJECT SPECIFICATIONS BY A QUALIFIED TESTING AGENCY DESIGNATED BY THE ARCHITECT, AND RETAINED BY THE BUILDING OWNER. THE ARCHITECT. STRUCTURAL ENGINEER, AND BUILDING DEPARTMENT SHALL BE FURNISHED WITH COPIES OF ALL INSPECTION AND TEST RESULTS.
 - A. STRUCTURAL STEEL FABRICATION AND ERECTION (INCLUDING FIELD WELDING AND HIGH-STRENGTH FIELD BOLTING)
 - B. EXPANSION BOLTS AND THREADED EXPANSION INSERTS
 - C. EPOXY GROUTED INSTALLATIONS
 - D. DRIVEN PILE INSTALLATION
- 8. SHOP DRAWINGS FOR THE FOLLOWING ITEMS SHALL BE SUBMITTED TO THE ARCHITECT AND STRUCTURAL ENGINEER FOR REVIEW PRIOR TO FABRICATION OF THESE ITEMS.
 - A. STRUCTURAL STEEL

APPROVED SETS OF ALL SHOP DRAWINGS SHALL ALSO BE SUBMITTED TO THE BUILDING DEPARTMENT.

GEOTECHNICAL

9. FOUNDATION NOTES: SUBGRADE PREPARATION INCLUDING DRAINAGE, EXCAVATION, COMPACTION, AND FILLING REQUIREMENTS, SHALL CONFORM STRICTLY WITH REC-OMMENDATIONS GIVEN IN THE SOILS REPORT OR AS DIRECTED BY THE SOILS ENGI-NEER. FOOTINGS SHALL BEAR ON SOLID UNDISTURBED EARTH (CONTROLLED, COM-PACTED STRUCTURAL FILL OR BOTH) AT LEAST 18" BELOW LOWEST ADJACENT FIN-ISHED GRADE. FOOTING DEPTHS/ELEVATIONS SHOWN ON PLANS (OR IN DETAILS) ARE MINIMUM AND FOR GUIDANCE ONLY: THE ACTUAL ELEVATIONS OF FOOTINGS MUST BE ESTABLISHED BY THE CONTRACTOR IN THE FIELD WORKING WITH THE TESTING LAB AND SOILS ENGINEER. BACKFILL BEHIND ALL RETAINING WALLS WITH FREE DRAIN-ING GRANULAR FILL AND PROVIDE FOR SUBSURFACE DRAINAGE AS NOTED IN THE SOILS REPORT.

ACTIVE EARTH PRESSURE (LEVEL GROUND BEHIND WALLS) . . . 35 PCF AT-REST EARTH PRESSURE (LEVEL GROUND BEHIND WALLS) . . . 45 PCF

SOILS REPORT REFERENCE: GEO GROUP NORTHWEST NO. G-5713, DATED 8/30/22 & ADDENDUM, DATED 7/30/23

10. PIPE PILE INSTALLATION SHALL CONFORM STRICTLY WITH THE RECOMMENDATIONS GIVEN IN THE SOILS REPORT OR AS DIRECTED BY THE SOILS ENGINEER. INSPEC-TION OF PILE INSTALLATION BY THE SOILS ENGINEER IS REQUIRED. PIPE PILES SHALL BE DRIVEN TO REFUSAL. WHERE REFUSAL IS DEFINED AS THE MINIMUM NUMBER OF SECONDS REQUIRED TO ACHIEVE ONE INCH OF PENETRATION, AS INDICATED BELOW:

HAMMER MODEL HAMMER WEIGHT REFUSAL CRITERIA 650 LB 12 SEC/INCH

PIPE PILE AXIAL CAPACITY IS 6 TONS (12,000 LB).

850 LB

PIPE PILES SHALL BE 3" DIAMETER, SCHEDULE 40 (0.216" WALL), AND SHALL CONFORM TO ASTM A53, GRADE A, FY = 30 KSI. PILES SHALL BE TESTED PER GEOTECHNICAL RECOMMENDATIONS.

10 SEC/INCH

ASTM QUICK TEST (D1143) REQUIRED ON MINIMUM 3% OF PILES UP TO 5 PILES ≻MAXIMUM (1 MINIMUM).

CONCRETE

11. CONCRETE SHALL BE MIXED. PROPORTIONED. CONVEYED AND PLACED IN ACCORD-ANCE WITH IBC SECTION 1905 AND ACI 301. CONCRETE SHALL ATTAIN A 28-DAY STRENGTH OF F'C = 2,500 PSI AND MIX SHALL CONTAIN NOT LESS THAN 5-1/2 SACKS OF CEMENT PER CUBIC YARD AND SHALL BE PROPORTIONED TO PRODUCE A SLUMP OF 5" OR LESS.

THE MINIMUM AMOUNTS OF CEMENT AND MAXIMUM AMOUNTS OF WATER MAY BE CHANGED IF A CONCRETE PERFORMANCE MIX IS SUBMITTED TO THE STRUCTURAL ENGINEER AND THE BUILDING DEPARTMENT FOR APPROVAL TWO WEEKS PRIOR TO PLACING ANY CON-CRETE. THE CONCRETE PERFORMANCE MIX SHALL INCLUDE THE AMOUNTS OF CEMENT. FINE AND COARSE AGGREGATE, WATER AND ADMIXTURES AS WELL AS THE WATER CE-MENT RATIO. SLUMP. CONCRETE YIELD AND SUBSTANTIATING STRENGTH DATA IN ACCORDANCE WITH IBC 1905. 3. REVIEW OF MIX SUBMITTALS BY THE ENGINEER OF RECORD INDICATES ONLY THAT INFORMATION PRESENTED CONFORMS GENERALLY WITH CONTRACT DOCUMENTS. CONTRACTOR OR SUPPLIER MAINTAINS FULL RESPONSIBILITY FOR SPECIFIED PERFORMANCE.

ALL CONCRETE WITH SURFACES EXPOSED TO STANDING WATER SHALL BE AIR-ENTRAINED WITH AN AIR-ENTRAINING AGENT CONFORMING TO ASTM C260, C494, AND C618. TOTAL AIR CONTENT SHALL BE IN ACCORDANCE WITH TABLE 1904. 2. 1 OF THE INTERNATIONAL BUILDING CODE.

- 12. REINFORCING STEEL SHALL CONFORM TO ASTM A615 (INCLUDING SUPPLEMENT S1), GRADE 60, FY = 60,000 PSI. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A-185.
- 13. REINFORCING STEEL SHALL BE DETAILED (INCLUDING HOOKS AND BENDS) IN ACCORD-ANCE WITH ACI 318-14. LAP ALL CONTINUOUS REINFORCEMENT 40 BAR DIAMETERS OR 2'-0" MINIMUM. PROVIDE CORNER BARS AT ALL WALL AND FOOTING INTER-SECTIONS. LAP CORNER BARS 40 BAR DIAMETERS OR 2'-0" MINIMUM. LAP ADJACENT MATS OF WELDED WIRE FABRIC A MINIMUM OF 8" AT SIDES AND ENDS.
- 14. CONCRETE PROTECTION (COVER) FOR REINFORCING STEEL SHALL BE AS FOLLOWS: A. FOOTINGS AND OTHER UNFORMED SURFACES. EARTH FACE . . . 3"
- 15. NON-SHRINK GROUT SHALL BE FURNISHED BY AN APPROVED MANUFACTURER AND SHALL BE MIXED AND PLACED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S PUBLISHED RECOMMENDATIONS. GROUT STRENGTH SHALL BE AT LEAST EQUAL TO THE MATERIAL ON WHICH IT IS PLACED (3000 PSI MINIMUM).

ANCHORAGE

- 16. EXPANSION BOLTS INTO CONCRETE AND GROUTED MASONRY UNITS SHALL BE "STRONG-BOLT" ANCHORS AS MANUFACTURED BY THE SIMPSON COMPANY AND INSTALLED IN STRICT ACCORDANCE WITH ICC ER 1771, INCLUDING MINIMUM FMBEDMENT REQUIREMENTS.
- 17. EPOXY-GROUTED ITEMS SPECIFIED ON THE DRAWINGS SHALL BE GROUTED WITH "SET-XP" HIGH STRENGTH EPOXY AS MANUFACTURED BY THE SIMPSON COMPANY AND INSTALLED IN STRICT ACCORDANCE WITH ICC ESR 2508.

- 18. STRUCTURAL STEEL DESIGN, FABRICATION, AND ERECTION SHALL BE BASED ON THE LATEST EDITIONS OF THE AISC SPECIFICATIONS AND CODES:
 - A. SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS-ALLOWABLE STRESS DESIGN.
- B. CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES, AMENDED BY THE DELETION OF THE FOLLOWING SENTENCE IN PARAGRAPH 4. 2. 1: "THIS APPROVAL CONSTITUTES THE OWNER'S ACCEPTANCE OF ALL RESPONSIBILITY FOR THE DESIGN ADEQUACY OF ANY DETAIL CONFIGURATION OF CONNECTIONS DEVELOPED BY THE FABRICATOR AS PART OF HIS PREPARATION OF THESE SHOP DRAWINGS.
- C. SPECIFICATION FOR STRUCTURAL JOINTS USING ASTM A325 OR A490 BOLTS. BOLTS IN SHEAR OR BEARING TYPE CONNECTIONS NEED ONLY BE TIGHTENED TO THE SNUG TIGHT CONDITION PER SECTION 8(C)
- 19. STRUCTURAL STEEL SHALL CONFORM TO THE FOLLOWING MINIMUM STANDARDS. PLATES, ANGLES, AND CHANNELS SHALL CONFORM TO ASTM A36, FY = 36 KSI WIDE FLANGE SHAPES SHALL CONFORM TO ASTM A992, FY = 50 KSI. STEEL PIPE SHALL CONFORM TO ASTM A53, TYPE E OR S, GRADE B, FY = 35 KSI. SQUARE OR RECTANGULAR STRUCTURAL TUBING SHALL CONFORM TO ASTM A500. GRADE B, FY = 46 KSI. ANCHOR BOLTS AND CONNECTION BOLTS SHALL CONFORM TO ASTM A307.
- 20. ALL WELDING SHALL BE IN CONFORMANCE WITH AISC AND AWS STANDARDS AND SHALL BE PERFORMED BY WABO CERTIFIED WELDERS USING E70XX ELECTRODES. ONLY PREQUALIFIED WELDS (AS DEFINED BY AWS) SHALL BE USED.

21. FRAMING LUMBER SHALL BE KILN DRIED OR MC-15, AND GRADED AND MARKED IN CON-FORMANCE WITH WCLIB STANDARD GRANDING WHOLEASE OVALUMEST FOR AST8 50 MBER NO. 17, LATEST EDITION. FURNISH TO THE FOLLOWING MINIMUM STANDARDS:

MINIMUM BASE VALUE, FB = 1000 PSI HEM-FIR NO. 2 JOISTS: (2X MEMBERS) (3X & 4X MEMBERS) DOUGLAS FIR NO. 1

STRUCTURAL LIGHT FRAMING: DOUGLAS FIR NO. 2 (INCL. 3X AND 4X POSTS) MINIMUM BASE VALUE. FB = 900 PSI BEAMS AND STRINGERS: DOUGLAS FIR NO. 1

(INCL. 6X AND LARGER) MINIMUM BASE VALUE, FB = 1350 PSI POSTS AND TIMBERS: DOUGLAS FIR NO. 1 (6X6 AND LARGER) MINIMUM BASE VALUE, FC = 1000 PSI

STUDS. PLATES & MISC. FRAMING: DOUGLAS FIR OR HEM-FIR STANDARD GRADE MINIMUM BASE VALUE, FB = 1350 PSI 2X6 STUDS AND PLATES: HEM-FIR NO. 3/ STUD GRADE

2X AND 3X T & G DECKING HEM-FIR COMMERICAL DEX,

ENGINEERED LUMBER MEMBERS SHALL BE MANUFACTURED UNDER A PROCESS BY THE NATIONAL RESEARCH BOARD. EACH PIECE SHALL BEAR A STAMP OR STAMPS NOTING THE NAME AND PLANT NUMBER OF THE MANUFACTURER, THE GRADE, THE NATIONAL RESEARCH BOARD NUMBER, AND THE QUALITY CONTROL AGENCY. ALL LUMBER SHALL BE MANUFACTURED IN ACCORDANCE WITH THE APPROPRIATE NER REPORT AND GLUED WITH A WATERPROOF ADHESIVE MEETING THE REQUIREMENTS OF ASTM D2559 WITH ALL GRAIN PARALLEL WITH THE LENGTH OF THE MEMBER.

LSL LVL

DESIGN SHOWN ON PLANS IS BASED ON LUMBER MANUFACTURED BY THE WEYERHAUSER CORPORATION. ALTERNATE MANUFACTURERS MAY BE USED SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND STRUCTURAL ENGINEER. ALTERNATE JOIST HANGERS AND OTHER HARDWARE MAY BE SUBSTITUTED FOR ITEMS SHOWN PROVIDED THEY HAVE ICC APPROVAL FOR EQUAL OR GREATER LOAD CAPACITIES. ALL JOIST HANGERS AND OTHER HARDWARE SHALL BE COMPATIBLE IN SIZE WITH MEMBERS PROVIDED.

ALL PROPOSED HOLE SIZES AND LOCATIONS SHALL BE SUBMITTED TO THE STRUCTURAL ENGINEER FOR APPROVAL TWO WORKING DAYS PRIOR TO DRILLING HOLES.

23. PREFABRICATED PLYWOOD WEB JOIST DESIGN SHOWN ON PLANS IS BASED ON JOISTS MANUFACTURED BY THE WEYERHAUSER CORPORATION AND SHALL BE FURNISHED AND INSTALLED IN CONFORMANCE WITH THE MANUFACTURER'S PUBLISHED SPECIFICATIONS. ALL NECESSARY BRIDGING, BLOCKING, BLOCKING PANELS, STIFFENERS, ETC., SHALL BE DETAILED AND FURNISHED BY THE MANUFACTURER. SUBMIT SHOP DRAWINGS TO THE ARCHITECT AND STRUCTURAL ENGINEER FOR REVIEW PRIOR TO FABRICATION ALTERNATE PLYWOOD WEB JOIST MANUFACTURERS MAY BE USED SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND STRUCTURAL ENGINEER. ALTERNATE JOIST HANGERS AND OTHER HARDWARE MAY BE SUBSTITUTED FOR ITEMS SHOWN PROVIDED THEY HAVE ICC APPROVAL FOR EQUAL OR GREATER LOAD CAPACITIES. ALL JOIST HANGERS AND OTHER HARDWARE SHALL BE COMPATIBLE IN SIZE WITH PLYWOOD WEB JOIST PROVIDED.

ALL HOLES SHALL CONFORM TO THE MANUFACTURERS SPECIFICATIONS. IF THREE OR FEWER HOLES ARE PROPOSED FOR A SINGLE JOIST, HOLES SHALL CONFORM TO THE WEYERHAUSER ILEVEL TJI ALLOWABLE HOLE CHART. IF MORE THEN THREE HOLES ARE PROPOSED FOR ONE SINGLE JOIST, ALL HOLE SIZES AND LOCATIONS SHALL BE SUB-MITTED TO THE STRUCTURAL ENGINEER FOR APPROVAL TWO WORKING DAYS PRIOR TO DRILLING HOLES.

- 24. PLYWOOD SHEATHING SHALL BE GRADE C-D. EXTERIOR GLUE OR STRUCTURAL II. EXTERIOR GLUE IN CONFORMANCE WITH APA STANDARDS. ORIENTED STRAND BOARD OF EQUIVALENT THICKNESS, EXPOSURE RATING AND SPAN RATING MAY BE USED IN LIEU OF PLYWOOD.
- A. ROOF SHEATHING SHALL BE 1/2" (NOM.) WITH SPAN RATING 24/0.
- B. FLOOR SHEATHING SHALL BE 3/4" (NOM.) WITH SPAN RATING 40/20.
- C. WALL SHEATHING SHALL BE 1/2" (NOM.) WITH SPAN RATING 24/0.

REFER TO WOOD FRAMING NOTES BELOW FOR TYPICAL NAILING.

- 25. ALL WOOD IN DIRECT CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE-TREATED WITH AN APPROVED PRESERVATIVE OR (2) LAYERS OF ASPHALT IMPREGNATED BUILDING PAPER SHALL BE PROVIDED BETWEEN UNTREATED WOOD AND CONCRETE OR MASONRY. ALL WOOD EXPOSED TO WEATHER WITHOUT THE ADEQUATE PROTECTION OF A ROOF OR EAVE SHALL BE AN APPROVED WOOD OF NATURAL RESISTANCE TO DECAY OR PRESSURE TREATED. SUCH MEMBERS INCLUDE HORIZONTAL MEMBERS SUCH AS GIRDERS, JOISTS, AND DECKING; OR VERTICAL MEMBERS SUCH AS POSTS, POLES, AND COLUMNS.
- TIMBER CONNECTORS CALLED OUT BY LETTERS AND NUMBERS SHALL BE "STRONG-TIE" BY SIMPSON COMPANY, AS SPECIFIED IN THEIR MOST RECENT CATALOG. EQUIVALENT DEVICES BY OTHER MANUFACTURERS MAY BE SUBSTITUTED. PROVIDED THEY HAVE ICC APPROVAL FOR EQUAL OR GREATER LOAD CAPACITIES. PROVIDE NUMBER AND SIZE OF FASTENERS AS SPECIFIED BY MANUFACTURER. CONNECTORS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. WHERE CONNECTOR STRAPS CONNECT TWO MEMBERS, PLACE ONE-HALF OF THE NAILS OR BOLTS IN EACH MEMBER. ALL BOLTS IN WOOD MEMBERS SHALL CONFORM TO ASTM A307. PROVIDE WASHERS UNDER THE HEADS AND NUTS OF ALL BOLTS AND LAG SCREWS BEARING ON WOOD. UN-LESS NOTED OTHERWISE, ALL NAILS SHALL BE COMMON. ALL SHIMS SHALL BE SEA-SONED AND DRIED AND THE SAME GRADE (MINIMUM) AS MEMBERS CONNECTED. HANGERS IN DIRECT CONTACT WITH PRESERVATIVE-TREATED WOOD SHALL BE EITHER STAINLESS STEEL (SST300), POST HOT-DIPPED GALVANIZED(HDG) OR GALVANIZED WITH A MINI-MUM OF 1.850Z ZINC PER SQUARE INCH (ZMAX). UNLESS NOTED OTHERWISE, ALL LUMBER JOISTS SHALL BE CONNECTED TO FLUSH BEAMS WITH "LUS" SERIES JOIST HANGERS. AND ALL TJI JOISTS SHALL BE CONNECTED TO FLUSH BEAMS WITH "ITT" OR "IUT" SERIES JOIST HANGERS.

27. WOOD FASTENERS

A. NAIL SIZES SPECIFIED ON DRAWINGS ARE BASED ON THE FOLLOWING SPECIFICATIONS:

SIZE	LENGTH	DIAMETER
6D	2"	0. 113"
8D	2-1/2"	0. 131"
10D	3"	0. 148"
12D	3-1/4"	0. 148"
16D	3-1/2"	0. 162"

IF CONTRACTOR PROPOSES THE USE OF ALTERNATE NAILS, THEY SHALL SUBMIT NAIL SPECIFICATIONS TO THE STRUCTURAL ENGINEER (PRIOR TO CONSTRUC-TION) FOR REVIEW AND APPROVAL.

B. STAPLES - THE FOLLOWING STAPLES MAY BE SUBSTITUTED FOR NAILING OF PLYWOOD (APA RATED SHEATHING):

NAIL SIZE	EQUIV. STAPLE	MINIMUM LENGT
6D	16 GA.	1-3/4"
8D	15 GA.	1-3/4"
10D	13 GA.	1-3/4"

IF CONTRACTOR PROPOSES THE USE OF ALTERNATE STAPLES, THEY SHALL SUB-MIT STAPLE SPECIFICATIONS TO THE STRUCTURAL ENGINEER (PRIOR TO CON-STRUCTION) FOR REVIEW AND APPROVAL.

C. NAILS AND STAPLES - PLYWOOD (APA RATED SHEATHING) FASTENERS TO FRA-MING SHALL BE DRIVEN FLUSH TO FACE OF SHEATHING WITH NO COUNTER-SINKING PERMITTED.

STRUCTURAL DESIGN info@smithlubke.com 206.852.1536 P.O. Box 30954 Seattle, WA 98113





Sam + June Mercer Island 3064 - 68th Avenue SE Mercer Island, WA

Issue Description 1/17/23 Permit 6/24/23 **Building Revisions** 8/7/23 Building Revisions(2)

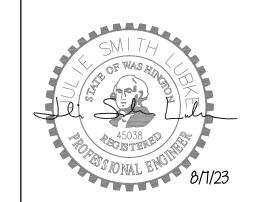
S1.0 GENERAL STRUCTURAL NOTES



- 28. TONGUE AND GROOVE STRUCTURAL ROOF AND FLOOR DECKING SHALL BE INSTALLED AS FOLLOWS: 2X DECKING SHALL BE TOENAILED THROUGH THE TONGUE AND FACENAILED WITH ONE 16D NAIL PER PIECE PER SUPPORT. 3X AND 4X DECKING SHALL BE TOENAILED WITH ONE 40D NAIL AND FACENAILED WITH ONE 60D NAIL PER SUPPORT. COURSES SHALL BE SPIKED TOGETHER WITH 8" SPIKES AT 30" O.C. (MAXIMUM) AND AT 10" (MAXIMUM) FROM EACH END OF EACH PIECE. SPIKES SHALL BE INSTALLED IN PREDRILLED EDGE HOLES.
- 29. WOOD FRAMING NOTES--THE FOLLOWING APPLY UNLESS OTHERWISE SHOWN:
 - A. ALL WOOD FRAMING DETAILS NOT SHOWN OTHERWISE SHALL BE CONSTRUCTED TO THE MINIMUM STANDARDS OF THE INTERNATIONAL BUILDING CODE. MINIMUM NAILING, UNLESS OTHERWISE NOTED, SHALL CONFORM TO TABLE 2304. 9. 1 OF THE INTERNATIONAL BUILDING CODE. UNLESS NOTED OTHERWISE, ALL NAILS SHALL BE COMMON. COORDINATE THE SIZE AND LOCATION OF ALL OPENINGS WITH MECHANICAL AND ARCHITECTURAL DRAWINGS. PROVIDE WASHERS UNDER THE HEADS AND NUTS OF ALL BOLTS AND LAG SCREWS BEARING ON WOOD.
 - B. WALL FRAMING: ALL STUD WALLS SHOWN AND NOT OTHERWISE NOTED SHALL BE 2X4 STUDS @ 16" O.C. AT INTERIOR WALLS AND 2X6 @ 16" O.C. AT EXTERIOR WALLS. TWO STUDS MINIMUM SHALL BE PROVIDED AT THE END OF ALL WALLS AND AT EACH SIDE OF ALL OPENINGS. TWO 2X8 HEADERS SHALL BE PROVIDED OVER ALL OPENINGS NOT OTHERWISE NOTED. SOLID BLOCKING FOR WOOD COL-UMNS SHALL BE PROVIDED THROUGH FLOORS TO SUPPORTS BELOW. WALLS SHALL HAVE A SINGLE BOTTOM PLATE AND A DOUBLE TOP PLATE. END NAIL TOP PLATE TO EACH STUD WITH TWO 16D NAILS, AND TOENAIL OR END NAIL EACH STUD TO BOTTOM PLATE WITH TWO 16D NAILS. FACE NAIL DOUBLE TOP PLATE WITH 16D AT 12" O.C. AND LAP MINIMUM 4'-0" AT JOINTS AND PROVIDE SIX 16D NAILS AT 4" O.C. EACH SIDE OF JOINT. ALL STUD WALLS SHALL HAVE THEIR LOWER WOOD PLATES ATTACHED TO WOOD FRAMING BELOW WITH 16D NAILS AT 12" O.C. STAGGERED OR BOLTED TO CONCRETE WITH 5/8" DIAMETER ANCHOR BOLTS (WITH 7" MINIMUM EMBEDMENT)@ 4'-0" O.C. UNLESS INDICATED OTHERWISE. INDIVI-DUAL MEMBERS OF BUILT-UP POSTS SHALL BE NAILED TO EACH OTHER WITH 16D @ 12" O.C. STAGGERED. REFER TO THE PLANS AND SHEAR WALL SCHEDULE FOR REQUIRED SHEATHING AND NAILING. WHEN NOT OTHERWISE NOTED, PROVIDE GYPSUM WALLBOARD ON INTERIOR SURFACES NAILED TO ALL STUDS, TOP AND BOTTOM PLATES AND BLOCKING WITH NAILS AT 7" O.C. USE 5D COOLER NAILS FOR 1/2" GWB AND 6D COOLER NAILS FOR 5/8" GWB. WHEN NOT OTHERWISE NOTED, PROVIDE 1/2" (NOM.) APA RATED SHEATHING (SPAN RATING 24/0) ON EXTERIOR SURFACES NAILED AT ALL PANEL EDGES (BLOCK UNSUPPORTED EDGES), TOP AND BOTTOM PLATES WITH 8D @ 6" O.C. AND TO ALL INTERMEDIATE STUDS AND BLOCKING WITH 8D @ 12" O.C. ALLOW 1/8" SPACING AT ALL PANEL EDGES AND ENDS.
 - C. FLOOR AND ROOF FRAMING: PROVIDE DOUBLE JOISTS AROUND ALL OPENINGS IN FLOORS OR ROOFS UNLESS OTHERWISE NOTED. PROVIDE SOLID BLOCKING AT ALL BEARING POINTS. TOENAIL JOISTS TO SUPPORTS WITH TWO 16D NAILS. ATTACH TIMBER JOISTS TO FLUSH HEADERS OR BEAMS WITH METAL JOIST HANGERS IN ACCORDANCE WITH TIMBER CONNECTOR NOTE. NAIL ALL MULTI-JOIST BEAMS TO-GETHER WITH 16D @ 12" O.C. STAGGERED. UNLESS OTHERWISE NOTED ON THE PLANS, ROOF AND FLOOR SHEATHING SHALL BE LAID UP WITH STRENGTH AXIS PERPENDICULAR TO SUPPORTS AND NAILED WITH 10D NAILS @ 6" O.C. TO FRAMED PANEL EDGES AND OVER STUD WALLS AS SHOWN ON PLANS AND @ 12" O.C. TO INTERMEDIATE SUPPORTS. PROVIDE APPROVED PLYWOOD EDGE CLIPS CENTERED BETWEEN JOISTS/TRUSSES AT UNBLOCKED ROOF SHEATHING EDGES. ALL FLOOR SHEATHING EDGE'S SHALL HAVE APPROVED TONGUE-AND-GROOVE JOINTS OR SHALL BE SUPPORTED WITH SOLID BLOCKING. ALLOW 1/8" SPACING AT ALL PANEL EDGES AND ENDS OF ALL ROOF AND FLOOR SHEATHING. TOENAIL BLOCKING TO SUPPORTS WITH 16D @ 12" O.C. UNLESS OTHERWISE NOTED. AT BLOCKED FLOOR AND ROOF DIAPHRAGMS PROVIDE FLAT 2X BLOCKING AT ALL UNFRAMED PLYWOOD PANEL EDGES AND NAIL WITH EDGE NAILING SPECIFIED.



info@smithlubke.com smithlubke.com 206.852.1536 P.O. Box 30954 Seattle, WA 98113



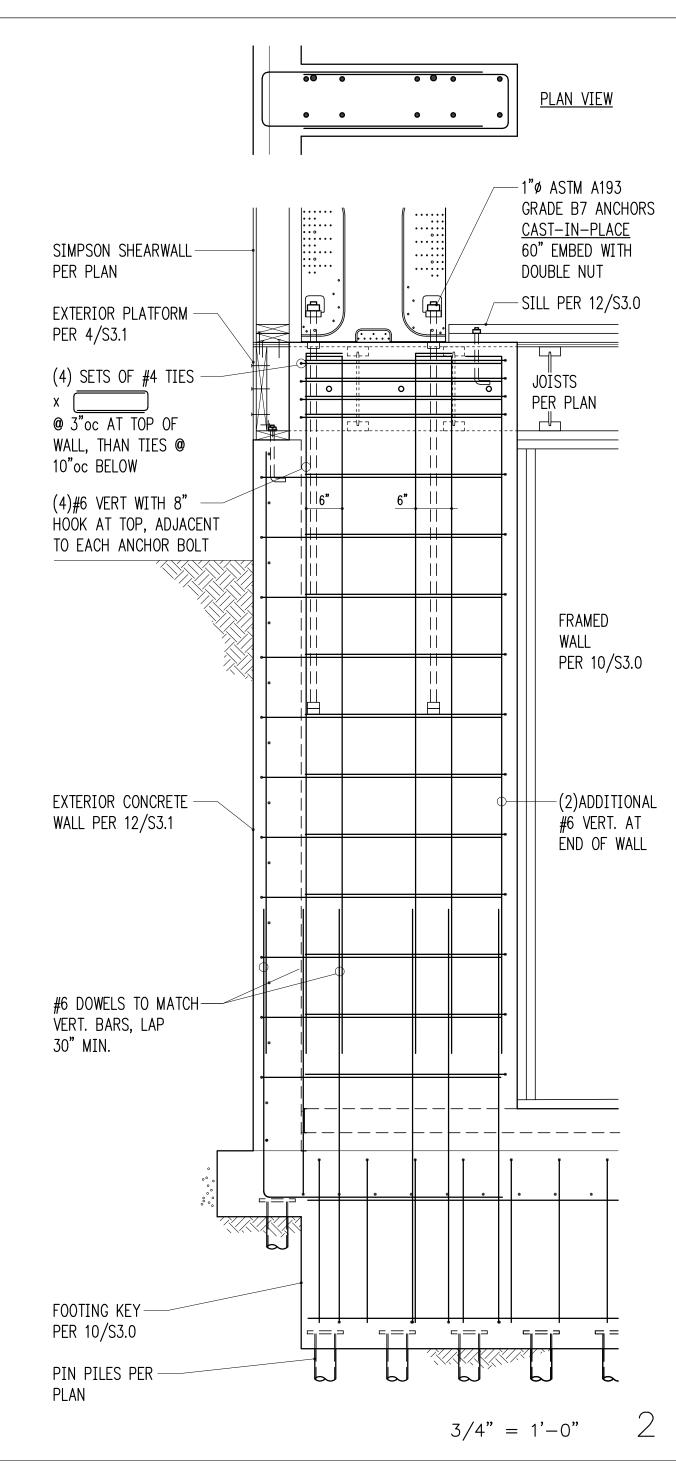


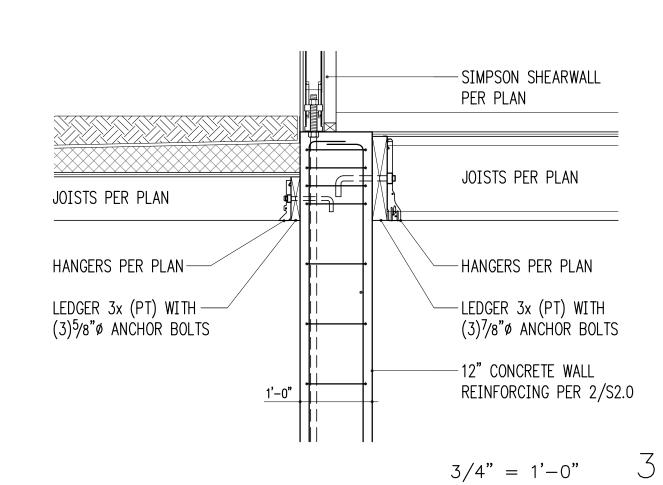
Sam + June Mercer Island 3064 - 68th Avenue SE Mercer Island, WA

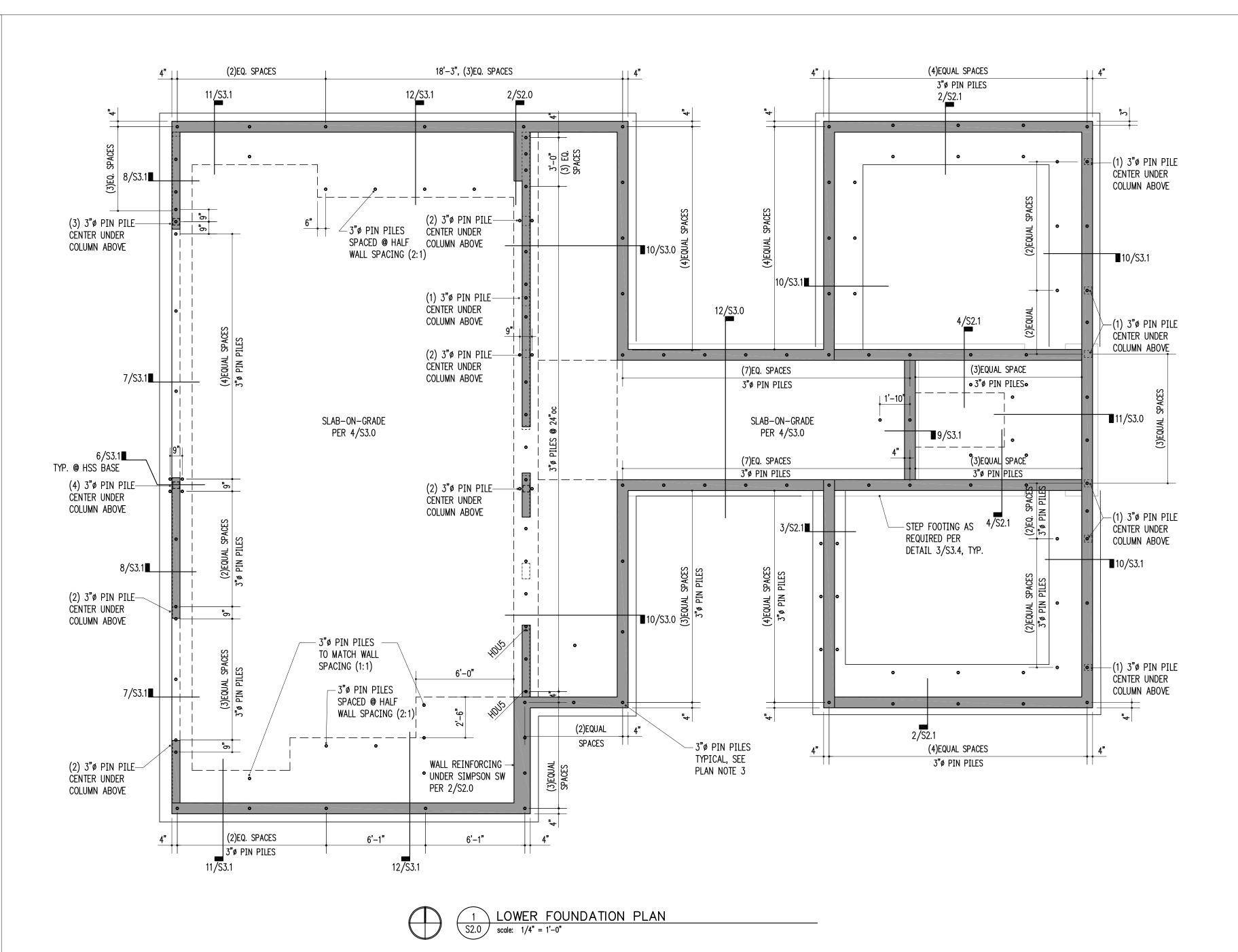
Issue Date	Issue Description
1/17/23	Permit
6/24/23	Building Revisions
8/7/23	Building Revisions(2)

S1.1

GENERAL STRUCTURAL NOTES

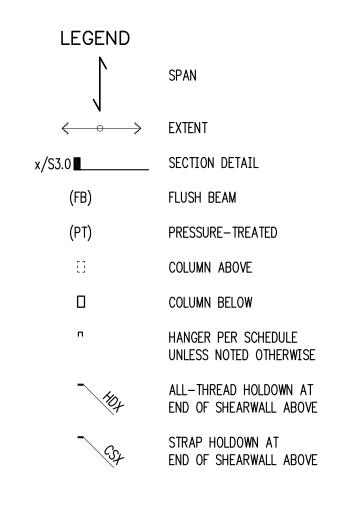






FOUNDATION PLAN NOTES

- 1. SEE 10/S3.2 FOR TYPICAL HOLDOWN REQUIREMENTS AT CONCRETE WALLS AND FOOTINGS.
- 2. SLAB-ON-GRADE SHALL BE PLACED AND CURED FOR A MINIMUM OF SEVEN DAYS BEFORE RETAINING WALLS ARE BACKFILLED. SEE RETAINING WALL DETAILS FOR SPECIFIC CONFIGURATION.
- 2"Ø PIN PILE SHALL BE INSTALLED PER GENERAL STRUCTURAL NOTES AND DETAIL 3/S3.0.





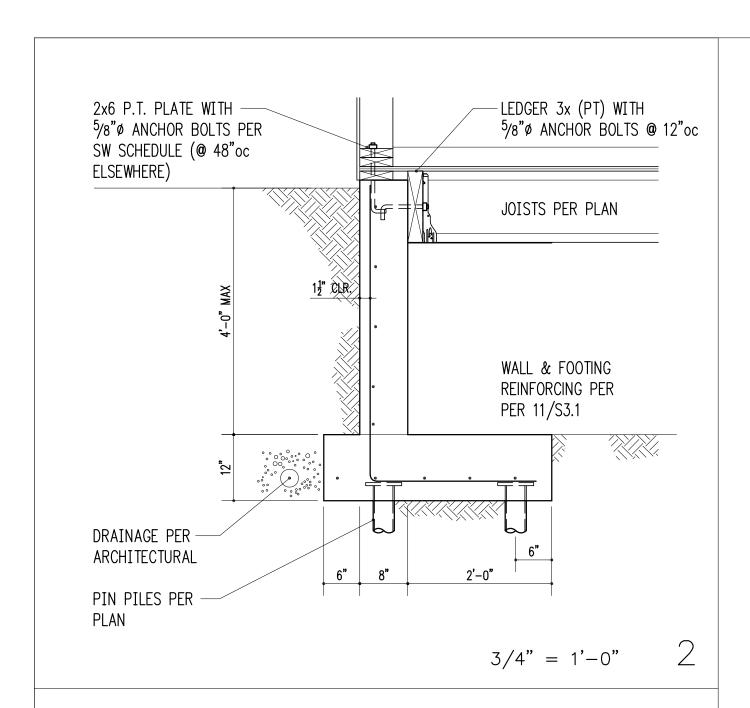


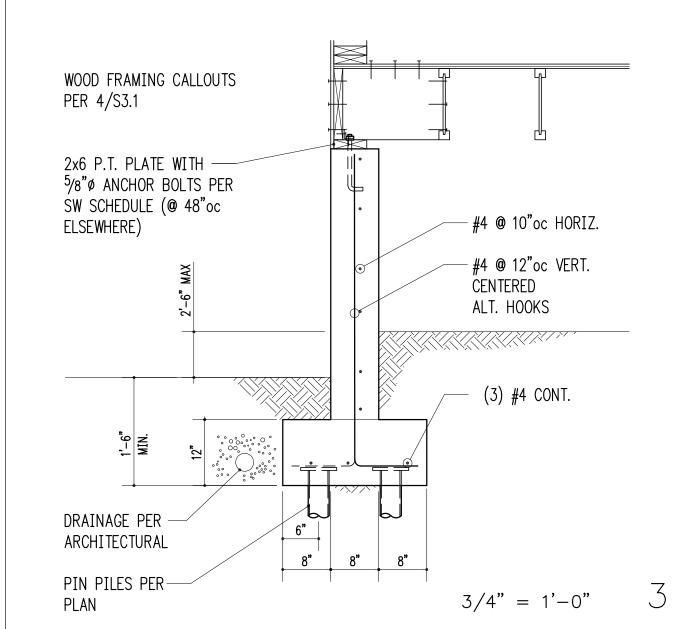


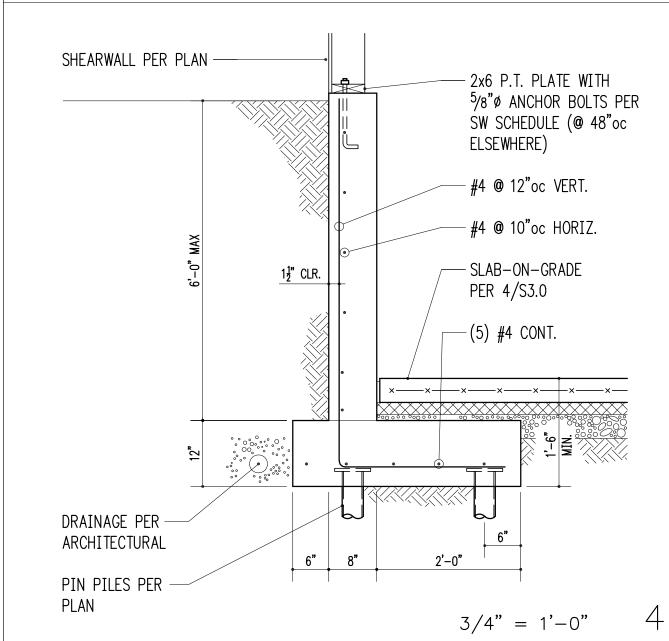
Sam + June Mercer Island 3064 - 68th Avenue SE Mercer Island, WA

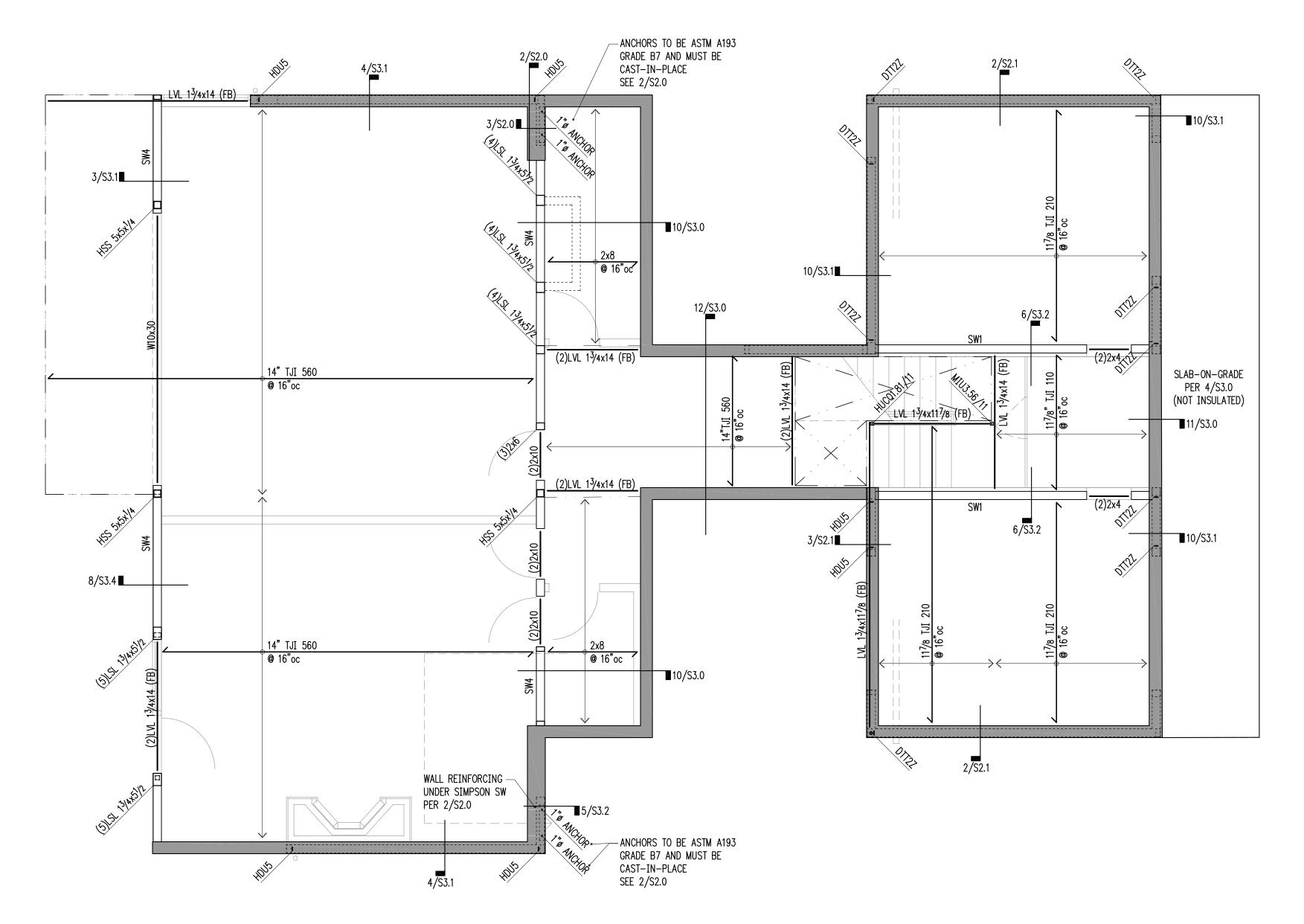
	Issue Description
1/17/23	Permit
6/24/23	Building Revisions
8/7/23	Building Revisions(2)

S2.0
LOWER FOUNDATION PLAN









HANGER SCHEDULE

CJT5Z

1 MAIN FLOOR FRAMING (BASEMENT/FOUNDATION WALLS)
S2.1 scale: 1/4" = 1'-0"

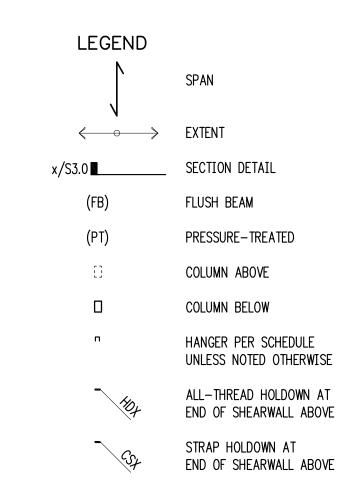
FRAMING PLAN NOTES

- 1. SW__ INDICATES SHEARWALL TYPE PER SCHEDULE 8/S3.2. REFER TO DETAILS FOR TYPICAL SHEARWALL CONSTRUCTION. SEE ARCHITECTURAL DRAWINGS FOR ADDITIONAL WALL INFORMATION.
- 2. REFER TO GENERAL STRUCTURAL NOTES FOR FLOOR OR ROOF SHEATHING TYPE, THICKNESS, AND NAILING.
- 3. COLUMNS SHALL BE DOUBLE STUD MINIMUM, UNLESS NOTED OTHERWISE. SEE 11/S3.2.
- 4. AT ALL SHEARWALLS PROVIDE DOUBLE TOP PLATES AND SPLICE PER 12/S3.2.

MEMBER (FLAT ONLY)	HANGER	FACE NAILING	MEMBER FASTENERS	WEB STIFF REQUIRED
2x8	LU28	8-10d x 1 ¹ / ₂	6-10d x 11/2	_
LVL 1 ³ /4x9 ¹ /2	HUS1.81/10	30-10d x 1 ¹ / ₂	10-10d	_
LVL 1 ³ /4x11 ⁷ /8	HUS1.81/10	30-10d x 1 ¹ / ₂	10-10d	_
LVL 1 ³ /4x14	HUS1.81/10	30-10d x 1 ¹ / ₂	10-10d	_
(2)LVL 1 ³ /4x14	U414	16-0.162 x 3 ¹ / ₂	6-0.148 x 3	YES
9 ¹ /2" TJI 110	IUS1.81/9.5	8-10dx1.5	2-STRONG GRIP	_
11 ⁷ /8" TJI 210	IUS2.06/11.88	10-10dx1.5	2-STRONG GRIP	_
14" TJI 110	IUS1.81/14	12-10dx1.5	2-STRONG GRIP	_
14" TJI 360	IUS2.37/14	12-10dx1.5	2-STRONG GRIP	_
14" TJI 560	MIU3.56/14	22-10dx1.5	2-10dx1.5	YES

 $10-\frac{1}{4}$ "x3" SDS (5) $\frac{1}{2}$ " x $2\frac{3}{4}$ "

LONG JOIST PINS



STRUCTURAL DESIGN info@smithlubke.com
smithlubke.com
206.852.1536
P.O. Box 30954
Seattle, WA 98113



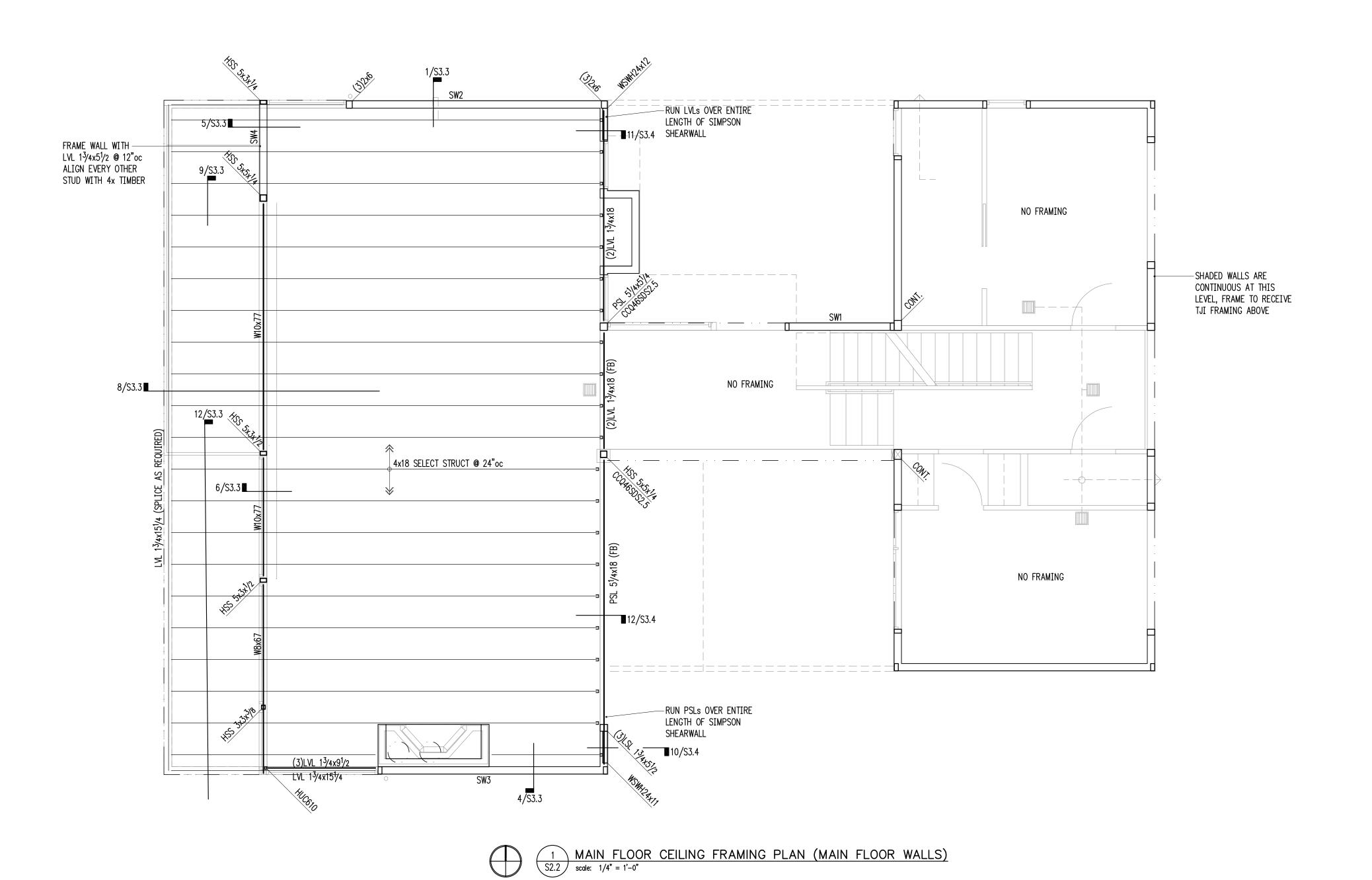


Sam + June Mercer Island 3064 - 68th Avenue SE Mercer Island, WA

1/17/23	Permit
6/24/23	Building Revisions
8/7/23	Building Revisions(2)

S2.1

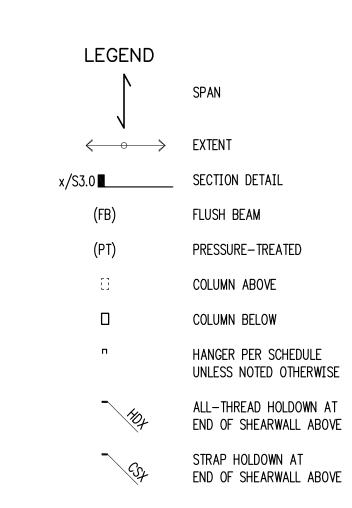
MAIN FLOOR FRAMING PLAN



FRAMING PLAN NOTES

- 1. SW__ INDICATES SHEARWALL TYPE PER SCHEDULE 8/S3.2. REFER TO DETAILS FOR TYPICAL SHEARWALL CONSTRUCTION. SEE ARCHITECTURAL DRAWINGS FOR ADDITIONAL WALL INFORMATION.
- REFER TO GENERAL STRUCTURAL NOTES FOR FLOOR OR ROOF SHEATHING TYPE, THICKNESS, AND NAILING.
- 3. COLUMNS SHALL BE DOUBLE STUD MINIMUM, UNLESS NOTED OTHERWISE. SEE 11/S3.2.
- 4. AT ALL SHEARWALLS PROVIDE DOUBLE TOP PLATES AND SPLICE PER 12/S3.2.

MEMBER (FLAT ONLY)	HANGER	FACE NAILING	MEMBER FASTENERS	WEB STIFF REQUIRED
2x8	LU28	8-10d x 1 ¹ / ₂	6-10d x 1 ¹ / ₂	_
LVL 1 ³ /4x9 ¹ /2	HUS1.81/10	30-10d x 1 ¹ / ₂	10-10d	_
LVL 1 ³ /4x11 ⁷ /8	HUS1.81/10	30-10d x 1 ¹ / ₂	10-10d	_
LVL 1 ³ /4x14	HUS1.81/10	30-10d x 1 ¹ / ₂	10-10d	_
(2)LVL 1 ³ /4x14	U414	16-0.162 x 3 ¹ / ₂	6-0.148 x 3	YES
9 ¹ /2" TJI 110	IUS1.81/9.5	8-10dx1.5	2-STRONG GRIP	_
11 ⁷ /8" TJI 210	IUS2.06/11.88	10-10dx1.5	2-STRONG GRIP	_
14" TJI 110	IUS1.81/14	12-10dx1.5	2-STRONG GRIP	_
14" TJI 360	IUS2.37/14	12-10dx1.5	2-STRONG GRIP	_
14" TJI 560	MIU3.56/14	22-10dx1.5	2-10dx1.5	YES
4x16	CJT5Z	10- ¹ / ₄ "x3" SDS	(5) ½" x 2¾" LONG JOIST PINS	_



STRUCTURAL DESIGN info@smithlubke.com
smithlubke.com
206.852.1536
P.O. Box 30954
Seattle, WA 98113





Sam + June Mercer Island 3064 - 68th Avenue SE Mercer Island, WA

 Issue Date
 Issue Description

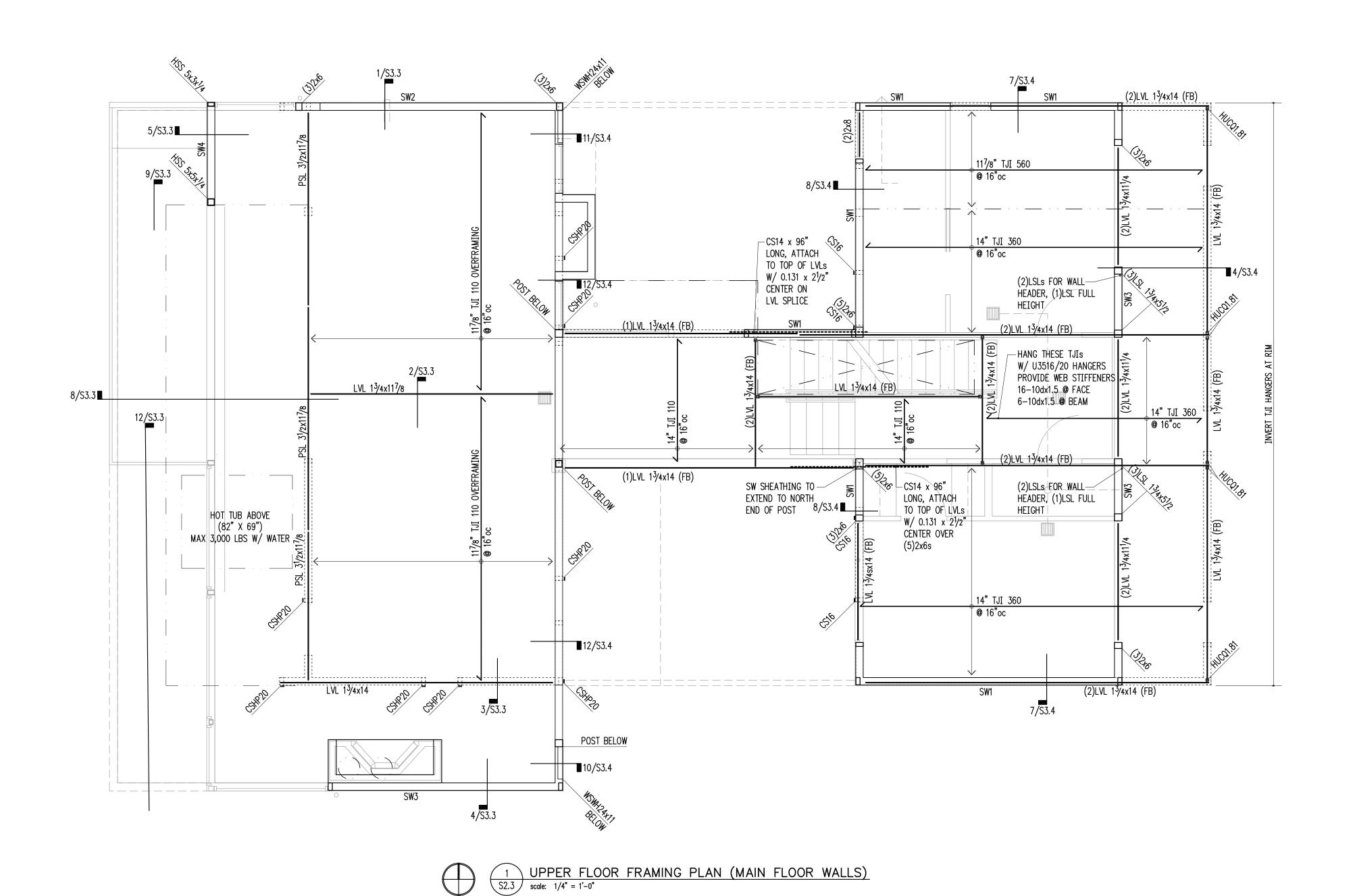
 1/17/23
 Permit

 6/24/23
 Building Revisions

 8/7/23
 Building Revisions(2)

S2.2

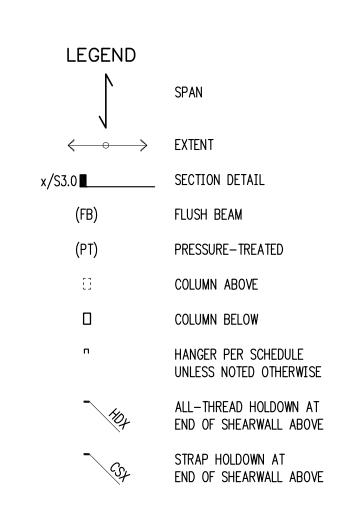
MAIN FLOOR CEILING
FRAMING PLAN



FRAMING PLAN NOTES

- 1. SW__ INDICATES SHEARWALL TYPE PER SCHEDULE 8/S3.2. REFER TO DETAILS FOR TYPICAL SHEARWALL CONSTRUCTION. SEE ARCHITECTURAL DRAWINGS FOR ADDITIONAL WALL INFORMATION.
- REFER TO GENERAL STRUCTURAL NOTES FOR FLOOR OR ROOF SHEATHING TYPE, THICKNESS, AND NAILING.
- 3. COLUMNS SHALL BE DOUBLE STUD MINIMUM, UNLESS NOTED OTHERWISE. SEE 11/S3.2.
- 4. AT ALL SHEARWALLS PROVIDE DOUBLE TOP PLATES AND SPLICE PER 12/S3.2.

HANGER S	SCHEDULE			
MEMBER (FLAT ONLY)	HANGER	FACE NAILING	MEMBER FASTENERS	WEB STIFF REQUIRED
2x8	LU28	8-10d x 1 ¹ / ₂	6-10d x 1 ¹ / ₂	-
LVL 1 ³ /4x9 ¹ /2	HUS1.81/10	30-10d x 1 ¹ / ₂	10-10d	-
LVL 1 ³ /4x11 ⁷ /8	HUS1.81/10	30-10d x 1 ¹ / ₂	10-10d	-
LVL 1 ³ /4x14	HUS1.81/10	30-10d x 1 ¹ / ₂	10-10d	-
(2)LVL 1 ³ /4x14	U414	16-0.162 x 3 ¹ / ₂	6-0.148 x 3	YES
9 ¹ /2" TJI 110	IUS1.81/9.5	8-10dx1.5	2-STRONG GRIP	-
11 ⁷ /8" TJI 210	IUS2.06/11.88	10-10dx1.5	2-STRONG GRIP	-
14" TJI 110	IUS1.81/14	12-10dx1.5	2-STRONG GRIP	-
14" TJI 360	IUS2.37/14	12-10dx1.5	2-STRONG GRIP	-
14" TJI 560	MIU3.56/14	22-10dx1.5	2-10dx1.5	YES
4x16	CJT5Z	10- ¹ /4"x3" SDS	(5) ½" x 2¾" LONG JOIST PINS	-



STRUCTURAL DESIGN
info@smithlubke.com
smithlubke.com
206.852.1536
P.O. Box 30954
Seattle, WA 98113

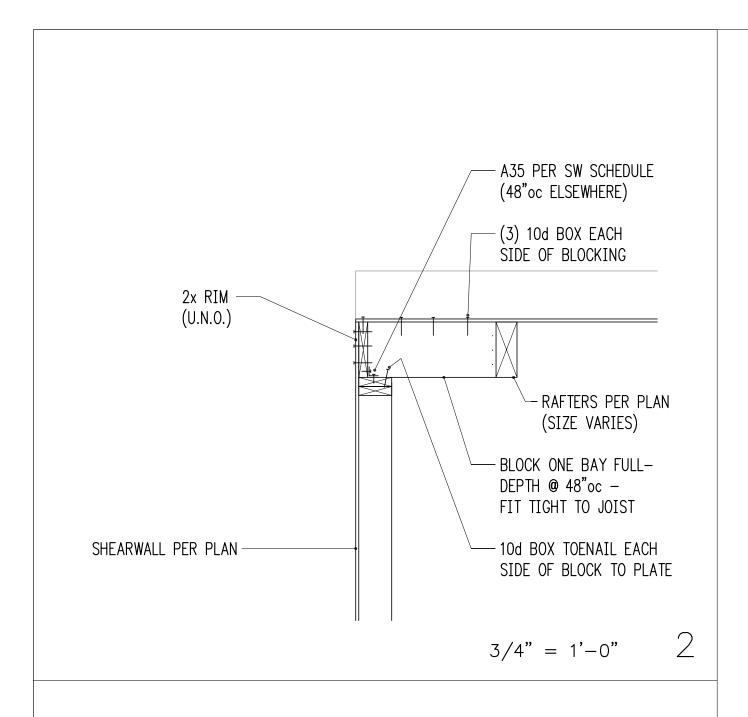


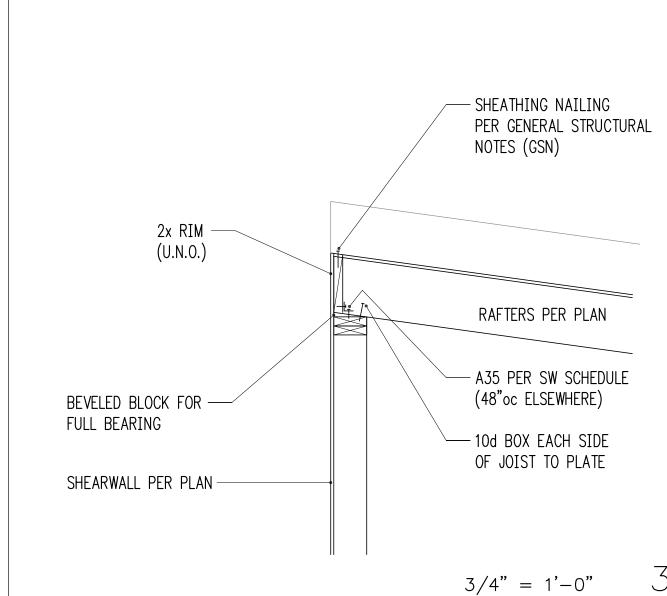


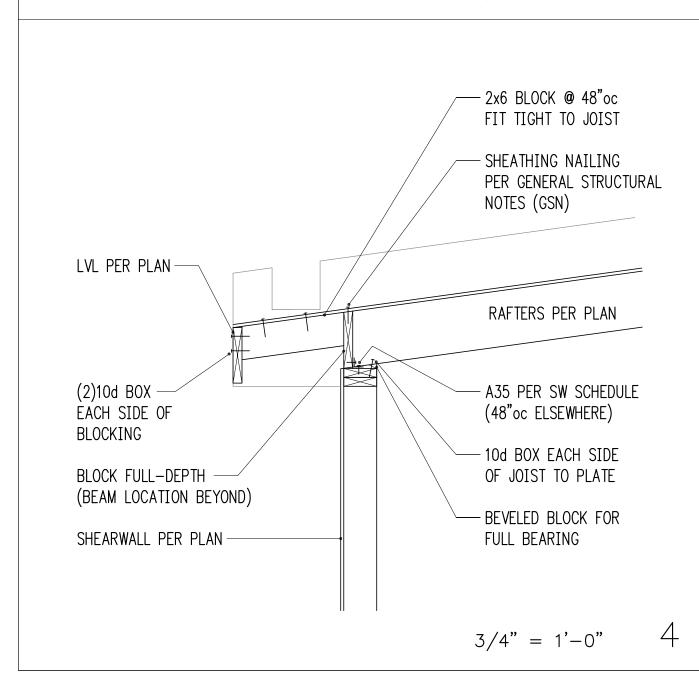
Sam + June Mercer Island 3064 - 68th Avenue SE Mercer Island, WA

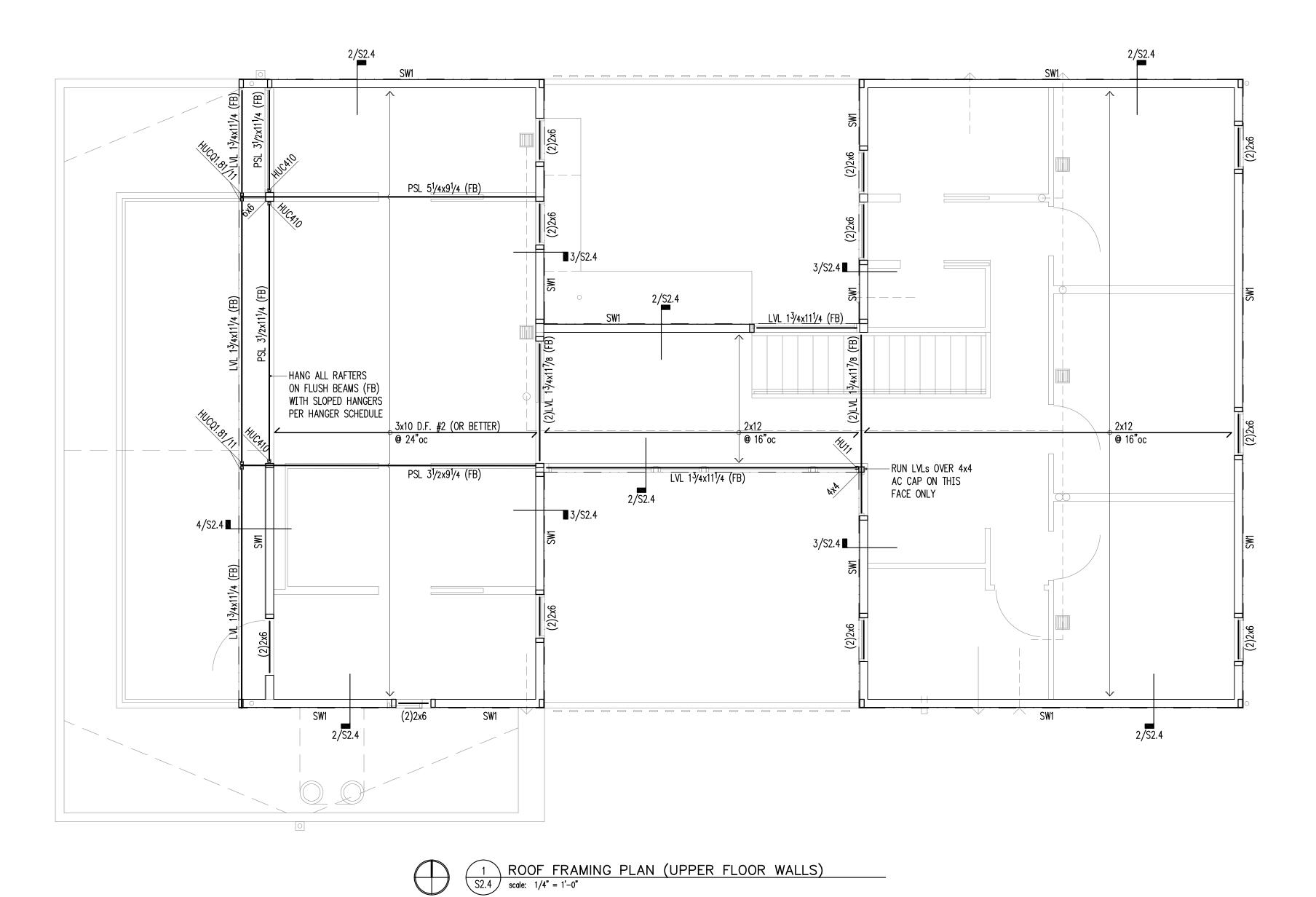
Issue Date	Issue Description
1/17/23	Permit
6/24/23	Building Revisions
8/7/23	Building Revisions(2)

S2.3
UPPER FLOOR
FRAMING PLAN









FRAMING PLAN NOTES

- 1. SW__ INDICATES SHEARWALL TYPE PER SCHEDULE 8/S3.2. REFER TO DETAILS FOR TYPICAL SHEARWALL CONSTRUCTION. SEE ARCHITECTURAL DRAWINGS FOR ADDITIONAL WALL INFORMATION.
- REFER TO GENERAL STRUCTURAL NOTES FOR FLOOR OR ROOF SHEATHING TYPE, THICKNESS, AND NAILING.
- 3. COLUMNS SHALL BE DOUBLE STUD MINIMUM, UNLESS NOTED OTHERWISE. SEE 11/S3.2.
- 4. AT ALL SHEARWALLS PROVIDE DOUBLE TOP PLATES AND SPLICE PER 12/S3.2.

HANGER SCHEDULE

	501125022			
MEMBER (FLAT ONLY)	HANGER	FACE NAILING	MEMBER FASTENERS	WEB STIFF REQUIRED
2x8	LU28	8-10d x 11/2	6-10d x 1 ¹ / ₂	_
LVL 1 ³ /4x9 ¹ /2	HUS1.81/10	30-10d x 1 ¹ / ₂	10-10d	_
LVL 1 ³ /4x11 ⁷ /8	HUS1.81/10	30-10d x 1 ¹ / ₂	10-10d	-
LVL 1 ³ /4x14	HUS1.81/10	30-10d x 1 ¹ / ₂	10-10d	-
(2)LVL 1 ³ /4x14	U414	16-0.162 x 3 ¹ / ₂	6-0.148 x 3	YES
9 ¹ /2" TJI 110	IUS1.81/9.5	8-10dx1.5	2-STRONG GRIP	_
11 ⁷ /8" TJI 210	IUS2.06/11.88	10-10dx1.5	2-STRONG GRIP	-
14" TJI 110	IUS1.81/14	12-10dx1.5	2-STRONG GRIP	_
14" TJI 360	IUS2.37/14	12-10dx1.5	2-STRONG GRIP	_
14" TJI 560	MIU3.56/14	22-10dx1.5	2-10dx1.5	YES
4x16	CJT5Z	10- ¹ /4"x3" SDS	(5) ½" x 2¾" LONG JOIST PINS	-

					LEGEND	
MEMBER (SLOPED ONLY)	HANGER	FACE NAILING	MEMBER FASTENERS	WEB STIFF REQUIRED		SPAN
2x12	U210	10-0.162 x 3 ¹ /2	6-0.148 x 1 ¹ / ₂	_	\ <>	EXTENT
3x10	U310	14-0.162 x 3 ¹ / ₂	6-0.148 x 1 ¹ / ₂	-	x/S3.0	SECTION DETAIL
					(FB)	FLUSH BEAM
					(PT)	PRESSURE-TREATED
					[]	COLUMN ABOVE
						COLUMN BELOW
					п	HANGER PER SCHEDULE UNLESS NOTED OTHERWISE
					1/04	ALL—THREAD HOLDOWN AT END OF SHEARWALL ABOVE
					- Cox	STRAP HOLDOWN AT END OF SHEARWALL ABOVE







Sam + June Mercer Island 3064 - 68th Avenue SE Mercer Island, WA

Issue Date

1/17/23

Permit

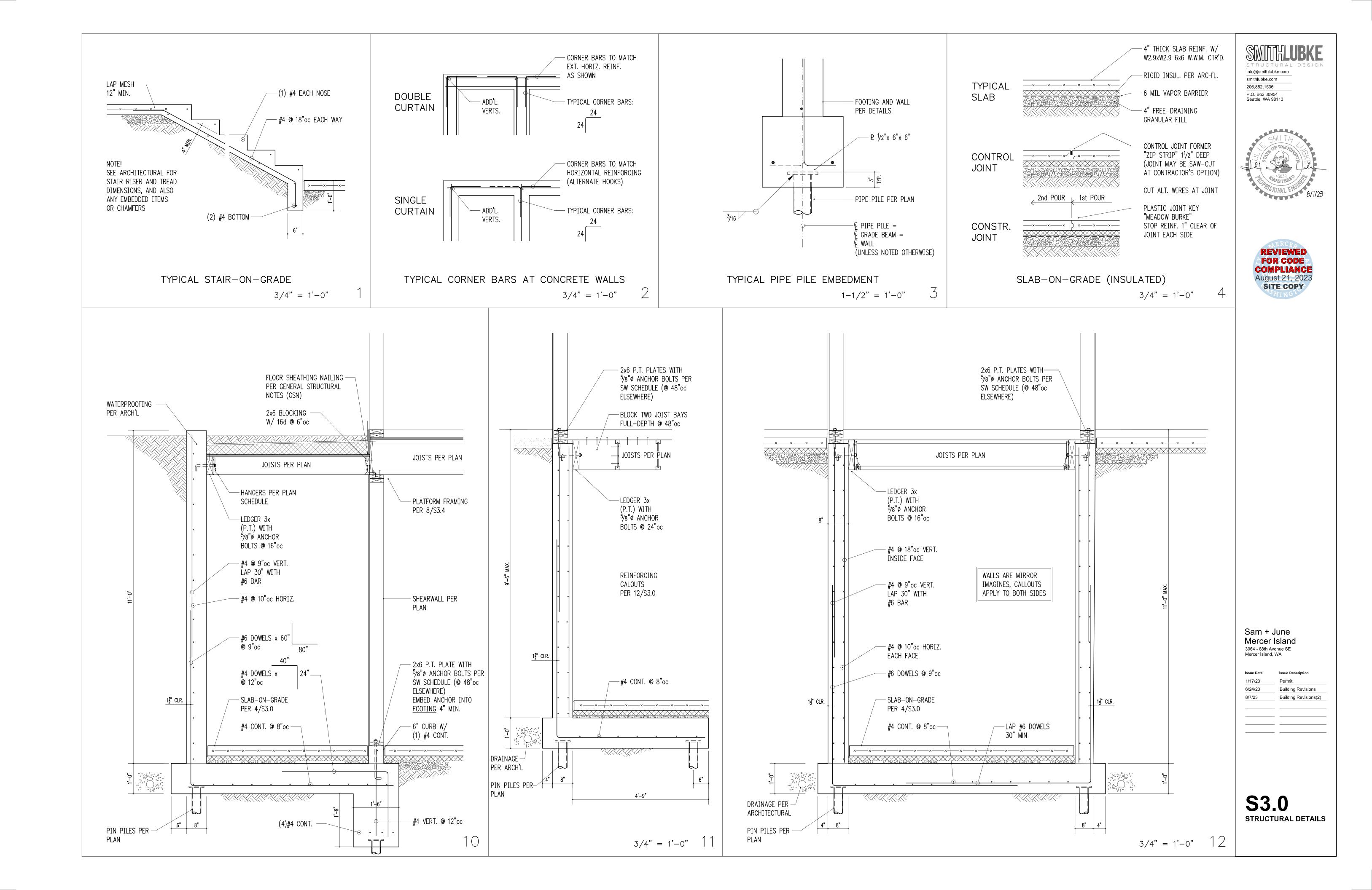
6/24/23

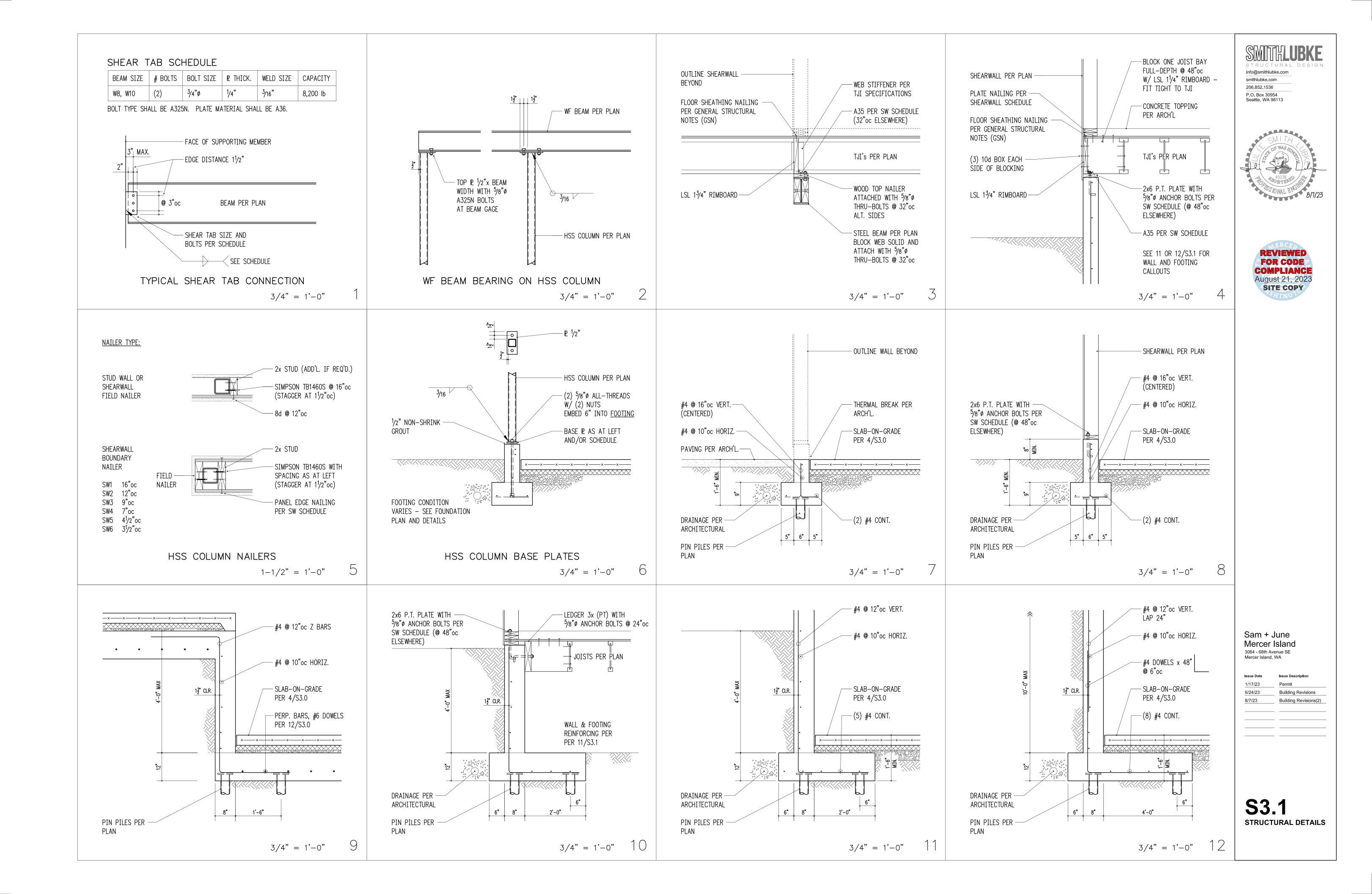
Building Revisions

8/7/23

Building Revisions(2)

S2.4
ROOF
FRAMING PLAN

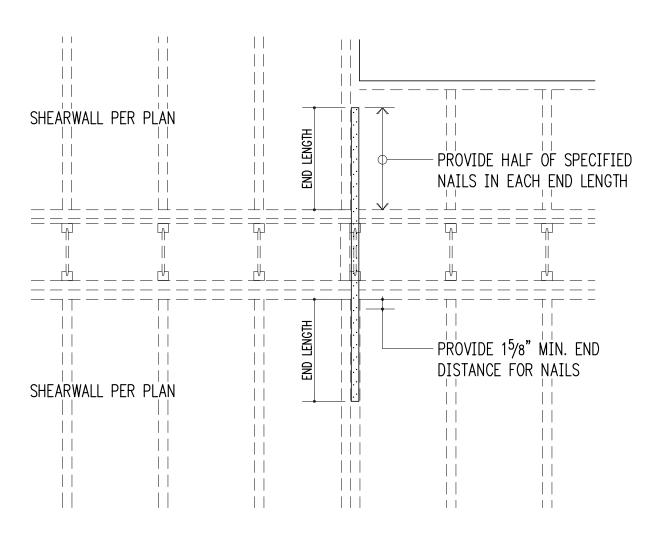




STRAP SCHEDULE

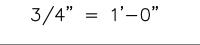
MARK	END LENGTH	NAILS	NAIL SPACING
CMST12	44"	(98) 10d x 3"	1 ³ /4"
CMST14	34"	(76) 10d x 3"	1 ³ /4"
CMSTC16	25"	(58) 12d x 3 ¹ /4"	11/2"
CS14	19"	(36) 8d x 2 ¹ /2"	2 ¹ /16"
CS16	14"	(26) 8d x 2 ¹ /2"	2 ¹ /16"
CS20	9"	(16) 8d x 2 ¹ /2"	21/16"
CSHP20	8"	(12) 0.148" x 2 ¹ /2"	1 ¹³ /16"

- 1. 10d AND 12d DIAMETER = 0.148"; 8d DIAMETER = 0.131".
- 2. USE HALF OF THE REQUIRED NAILS IN EACH MEMBER BEING CONNECTED (i.e. IN EACH END LENGTH).



TYPICAL STRAP HOLDOWN AT FLOOR

3/4" = 1'-0"



-SIMPSON SHEARWALL

JOISTS PER PLAN

— HANGERS PER PLAN

-LEDGER 3x (PT) WITH

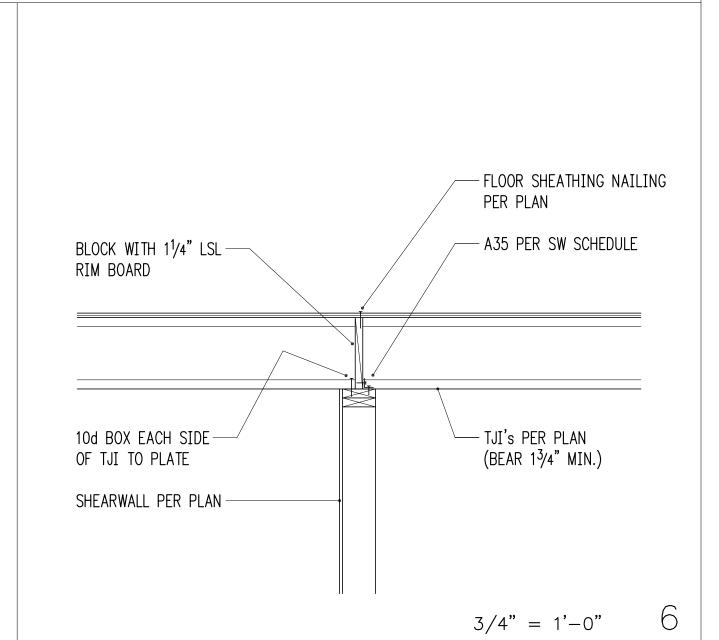
-12" CONCRETE WALL

3/4" = 1'-0"

(3)⁷/8"ø ANCHOR BOLTS

REINFORCING PER 2/S2.0

PER PLAN



SHEARWALL SCHEDULE

SHEARWALL PER PLAN -

NAILING TO MATCH

PER SW SCHEDULE

BOTTOM PLATE NAILING

SHEARWALL PER PLAN -

SHEARWALL PER PLAN -

INTERSECTING -

NON-SHEARWALL

MARK	SHEATHING ¹	STUDS AT	PANEL EDGE NAILING ^{3,4}	RIM JOIST OR E	BLOCKING TO TOP PLATE	BOTTOM PLATE ATTACHM	MENT	
		ABUTTING PANEL EDGES ²	NAILING 57	SOLID RIM	TJI RIM	BOTTOM PLATE TO RIM JOIST BELOW ⁴	ANCHOR BOLT TO CONCRETE 5	SILL PLATE AT FOUND.
SW1	15/32" CDX PLYWOOD	2x	8d @ 6"oc	A35 @ 24"oc	16d @ 6"oc	16d @ 6"oc	⁵ /8"ø @ 48"oc	2x
SW2	15/32" CDX PLYWOOD	2x	8d @ 4"oc	A35 @ 15"oc	16d @ 4"oc	16d @ 4"oc	⁵ /8"ø @ 32"oc	2x
SW3	15/32" CDX PLYWOOD	3x	8d @ 2"oc	A35 @ 9"oc	N/A - USE SOLID RIM	16d @ 2"oc	⁵ /8"ø @ 12"oc	2x
SW4	15/32" CDX PLYWOOD BOTH SIDES	3x	8d @ 2"oc	A35 @ 4 ¹ /2"oc	N/A - USE SOLID RIM	(2) ROWS 16d @ 2"oc	⁵ /8"ø @ 12"oc	3x

- 1. WALL SHEATHING SHALL CONSIST OF APA RATED PLYWOOD WITH SPAN RATING 24/0. ALLOW 1/8" SPACING AT ALL PANEL EDGES AND ENDS OF PANELS. 7/16" APA RATED SHEATHING (OSB) MAY BE USED IN PLACE OF 15/32" CDX.
- 2. STUDS AT ABUTTING PANEL EDGES MAY CONSIST OF (2)2x STUDS IN PLACE OF 3x STUDS NAIL (2)2x STUDS TOGETHER WITH BOTTOM PLATE ATTACHMENT NAILING.
- 3. BLOCK ALL PANEL EDGES W/ 2x4 FLAT, ATTACH W/ PANEL EDGE NAILING. TWO STUDS MINIMUM ARE REQUIRED AT EACH END OF ALL SHEARWALLS. END STUDS SHALL RECEIVE PANEL EDGE NAILING. INTERMEDIATE STUDS SHALL BE 2x STUDS. NAIL SHEATHING TO INTERMEDIATE FRAMING MEMBERS WITH 8d @ 12"oc.
- 4. 8d NAILS SHALL BE 0.131" DIAMETER x $2^{1}/2$ " (COMMON). 16d NAILS SHALL BE 0.135" DIAMETER x $3^{1}/2$ " (BOX).

PANEL EDGE NAILING

PER SW SCHEDULE

- NAILING TO MATCH

PER SW SCHEDULE

- PANEL EDGE NAILING

PER SW SCHEDULE

- NAILING TO MATCH

PER SW SCHEDULE

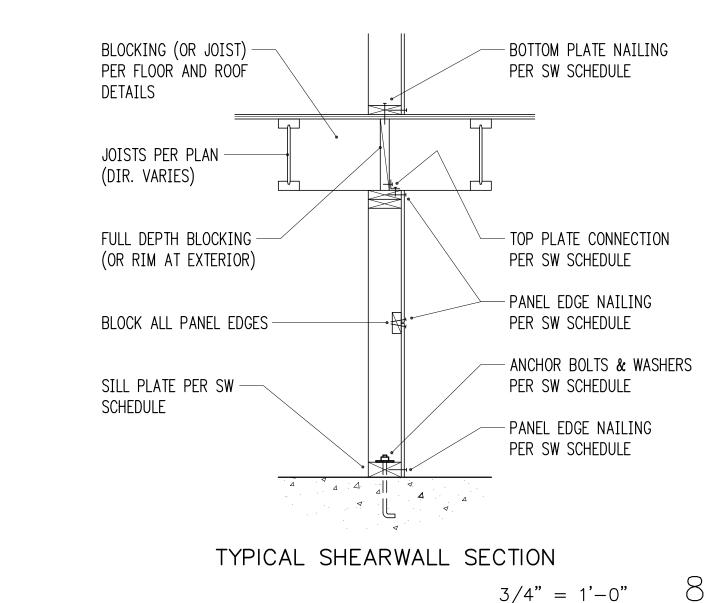
- PANEL EDGE NAILING

PER SW SCHEDULE

BOTTOM PLATE NAILING

BOTTOM PLATE NAILING

5. ANCHORS TO CONCRETE SHALL CONSIST OF CAST-IN-PLACE ANCHOR BOLTS, EXPANSION BOLTS, EPOXY GROUTED ALL-THREADS, OR TITEN HD HEAVY DUTY SCREW ANCHORS. CAST-IN-PLACE ANCHOR BOLTS HAVE A 7" EMBED AND SHALL BE J-BOLTS OR SHALL HAVE A HEX NUT AT THE BOTTOM END. EXPANSION BOLTS SHALL HAVE 5" EMBED AND SHALL NOT BE USED AT STEM WALL LOCATIONS WITH EDGE DISTANCE LESS THAN 5" (INSTEAD, USE EPOXY GROUTED ALL-THREADS OR TITEN HD ANCHORS). EPOXY GROUTED ANCHORS SHALL HAVE 5" EMBED AND 21/2" MIN. EDGE DISTANCE. TITEN HD ANCHORS SHALL HAVE 31/2" EMBED AND 13/4" MIN. EDGE DISTANCE. AT ALL ANCHOR BOLTS, PROVIDE STEEL PLATE WASHERS THAT ARE A MINIMUM OF 0.229" (3 GAUGE) x 3"x 3" (SIMPSON BP5/8-3 OR SIMILAR). STEEL PLATE WASHERS SHALL EXTEND TO WITHIN 1/2" OF PYLWOOD SHEATHING.



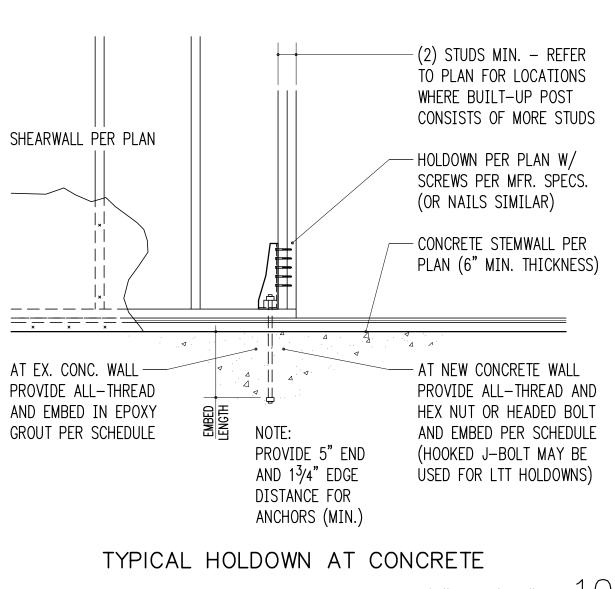
HOLDOWN SCHEDULE

MARK	FASTENERS TO STUDS 1	ANCHOR	EMBEDME	NT LENGTH
		DIA. ²	EP0XY ³	CAST-IN ⁴
DTT2Z	(8) ¹ /4"ø x 2 ¹ /2" SCREWS	5/8"	7"	7"
HDU5	(14) ¹ /4"ø x 2 ¹ /2" SCREWS	5/8"	_	37"

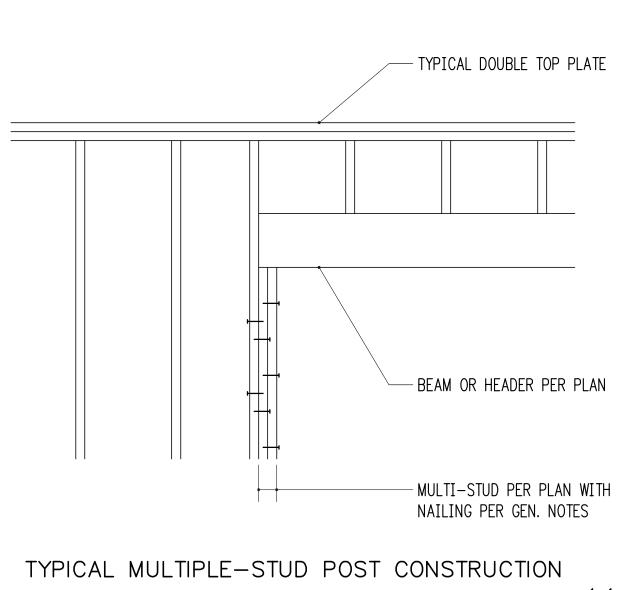
1. 10d AND 12d DIAMETER = 0.148"; 16d DIAMETER = 0.162". SCREWS SHALL BE SIMPSON "SDS" TYPE SCREWS, INSTALL PER SIMPSON RECOMMENDATIONS.

1--

- 2. PROVIDE A36 OR A307 ALL-THREAD AT EPOXY AND CAST-IN ANCHORS.
- 3. PROVIDE SIMPSON "SET-XP" EPOXY PER GENERAL STRUCTURAL NOTES. SPECIAL INSPECTION IS REQUIRED.
- 4. AT CAST-IN ANCHORS PROVIDE HEAVY HEX NUT AT BOTTOM OF ALL-THREAD.

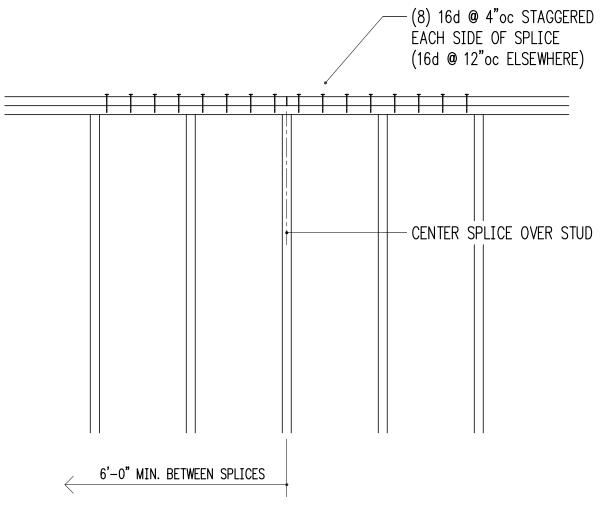


3/4" = 1'-0" 1 0



TYPICAL SHEARWALL INTERSECTIONS

3/4" = 1'-0" 11



TYPICAL TOP PLATE SPLICE CONSTRUCTION 3/4" = 1'-0" 12

STRUCTURAL DESIGN info@smithlubke.com smithlubke.com 206,852,1536 P.O. Box 30954 Seattle, WA 98113





Sam + June Mercer Island 3064 - 68th Avenue SE Mercer Island, WA

1/17/23	Permit
6/24/23	Building Revisions
8/7/23	Building Revisions(2)

S3.2 STRUCTURAL DETAILS

