

CITY OF MERCER ISLAND

DEVELOPMENT SERVICES GROUP

9611 SE 36TH STREET | MERCER ISLAND, WA 98040
PHONE: 206.275.7605 | www.mercergov.org



INSPECTION REQUESTS:

online:



voicemail: (206) 275-7730

NOTE: ALL RECORDS AND DRAWINGS ARE SUBJECT TO PUBLIC DISCLOSURE AS REQUIRED BY RCW 42.56

CONTACT INFORMATION:

Applicant is to complete the following information.

Applicant Contact information prior to permit issuance: Name, Address, Phone, Email
Applicant Contact information post permit issuance: Name, Address, Phone, Email

REQUIRED SPECIAL INSPECTIONS / STRUCTURAL OBSERVATIONS:

It is the Engineer of Record's responsibility to specify all required Special Inspections or Structural Observation (check items below). The owner is responsible for hiring an approved private Special Inspector for the checked inspections noted below.

STRUCTURAL OBSERVATION BY ENGINEER OF RECORD (EOR): Engineer of Record, Company, Phone, General Conformance to Construction Documents, Other

SOILS / GEOTECHNICAL: Special Inspector, Company, Phone, Erosion control measures, Subsurface drainage placement, Shoring installation and monitoring, Verify fill material and compaction, etc.

REINFORCED CONCRETE: Special Inspector, Company, Phone, Concrete strength, Retaining wall construction, Reinforcing steel and concrete placement, etc.

STRUCTURAL STEEL: Special Inspector, Company, Phone, Fabrication and shop welds, Moment Frame construction, Structural steel erection, field welds and bolting, etc.

STRUCTURAL MASONRY: Special Inspector, Company, Phone, Mortar strength, Glass unit masonry installation, Masonry unit strength, Wall panel and veneer installation, etc.

WOOD: Special Inspector / Engineer of Record, Company, Phone, Lateral resisting system construction, High strength diaphragm construction, etc.

OTHER SPECIAL INSPECTIONS: Special Inspector, Company, Phone, Epoxy grout installations, Stucco installation, Expansion anchor installations, Infiltration System, etc.

DEFERRED SUBMITTALS:

The Applicant is required to select all deferred submittals / shop drawings for submittal to the City for review and approval prior to item fabrication / construction.

Connector plate wood trusses, Metal joist / metal trusses, Post tension layout, Exterior cladding, etc.

ENERGY CODE COMPLIANCE INFORMATION:

Indicate where the following information is located in the drawing set. Alternatively, incorporate or include the Residential Energy Code Prescriptive Compliance (RECPC) Form into the drawing set.

Building envelope, Air Leakage Testing, Whole house ventilation, Duct Leakage Testing, Energy Credit Information, etc.

TO BE COMPLETED BY DSG

PROJECT ALERTS: Construction of the project shall be from approved plans only. No deviation from the approved project plans is allowed without prior approval from the City of Mercer Island.

TREE PROTECTION REQUIREMENTS: Tree protection as shown on approved drawings shall be installed at tree dripline prior to start of any site work and must remain in place throughout the project.

FIRE PROTECTION REQUIREMENTS: Separate Permits are required for ALL fire protection systems. Fire Sprinkler, Monitored Household Fire Alarm, etc.

WATER SUPPLY REQUIREMENTS: Fire sprinkler design calculations must be provided prior to determining water supply system requirements. City Installation, Applicant Installation, etc.

DRAINAGE REQUIREMENTS: On site detention system required, Direct discharge into the lake, On site infiltration system required, etc.

SIDE SEWER REQUIREMENTS: Side sewer requires a backflow preventer when connecting to the lake line or when the elevation of the lowest plumbing fixture is lower than the elevation of the upstream manhole rim.

APPROVED CODE ALTERNATIVES: Code alternatives must be inspected. Refer to the Inspection Checklist. CA1, CA2, etc.

SURVEY REQUIREMENTS: Surveyor shall verify points chosen for height calculations and point verification shall be submitted at the time of City foundation inspection.

MAXIMUM 40 PERCENT ALTERATION INSPECTION: A Building Inspection prior to demolition is required for all legally nonconforming single family dwelling to ensure no more than 40 percent of the dwelling's exterior walls are structurally altered.

GEOTECHNICAL INFORMATION: Land clearing, grading, filling and foundation work within geologic hazard areas is NOT PERMITTED between October 1 and April 1 without an approved Seasonal Development Limitation Waiver.

SEASONAL DEVELOPMENT LIMITATION RESTRICTION: Applies (Geologic Hazard area). Grading not permitted between October 1 through April 1.

TO BE COMPLETED BY DSG

TO BE COMPLETED BY DSG

REQUIRED CONSTRUCTION INSPECTIONS: Inspector shall initial and date appropriate inspection only if approved. Tree protection, Erosion control, Sewer disconnect and cap, etc.

TO BE COMPLETED BY DSG

90 DAY TEMPORARY CERTIFICATE OF OCCUPANCY (TCO): Applicant option. Additional fees will be required and must be approved prior to occupancy. TCO requires tree plantings be completed.

ADDITIONAL REQUIRED CITY INSPECTIONS: Call the appropriate contact to arrange the inspection. Required Inspection(s), Contact, Phone, Scheduling.

IMPACT FEES: Impact fees apply and are due prior to Final Inspection or on Date, whichever occurs first. PLAN REVIEW APPROVALS: Not all review disciplines may be required to review the documents.

TO BE COMPLETED BY APPLICANT

TO BE COMPLETED BY APPLICANT



CERTIFICATE OF OCCUPANCY Issued after all required inspections have been performed and approved.

PROJECT NAME: PROJECT ADDRESS:

APPROVED DRAWINGS MUST BE KEPT ON THE BUILDING SITE AT ALL TIMES REVIEWED FOR CODE COMPLIANCE

ABBREVIATIONS

Table with columns for abbreviations and their corresponding full names, including AIR CONDITIONING, ABOVE, ADDITIONAL, ADJUSTABLE, etc.

SYMBOLS LEGEND (VERTICAL)

Table mapping symbols to their uses: DEMO TAG, DOOR TAG, ELEVATION TAG, FINISH TAG, etc.

WALL LEGEND

Table showing wall types and materials: FRAMED WALL, CONCRETE.

LAND USE DATA

Table with columns for ZONING, LOT AREA, FLOOR AREA, SETBACKS.

BUILDING CODE DATA

Table listing applicable codes for building codes: MICC UNIFIED LAND DEVELOPMENT CODE, 2018 WA STATE ENERGY CODE (WSEC), etc.

ENERGY CODE DATA

Table listing applicable codes for energy codes: 2018 WA STATE ENERGY CODE (WSEC), CLIMATE ZONE, INSULATION AND FENESTRATION REQUIREMENTS.

ENERGY CODE NOTES

- 1. AIR BARRIER AND INSULATION INSTALLATION TO COMPLY WITH TABLE R402.4.1.1.
2. ALL THERMOSTATS TO BE PROGRAMMABLE.
3. MECHANICAL SYSTEM PIPING INSULATION FOR FLUIDS OVER 105 F TO BE MIN. R-6.

ADDITIONAL ENERGY EFFICACY REQUIREMENTS PER R406.2 FOR MEDIUM DWELLING UNIT: 6.0 CREDITS REQUIRED

PRIMARY HEAT SOURCE SYSTEM TYPE: HEAT PUMP - AIR TO AIR | WATER UNITS CONFIGURED TO PROVIDE HEATING AND COOLING, RATED IN ACCORDANCE WITH AHRI 550/5990

Table showing ENERGY CREDITS: 1.3 0.5 CREDITS, 5.4 1.5 CREDITS, 6.1 3.0 CREDITS.

TOTAL CREDITS = 6.0

GENERAL NOTES

- 1. ALL WORK SHALL BE DONE IN CONFORMANCE WITH ALL APPLICABLE CODES.
2. DIMENSIONS ARE TO FACE OF STUD AND FACE OF CONCRETE UNLESS NOTED OTHERWISE.
3. DO NOT SCALE DRAWINGS.

GENERAL RESIDENTIAL CODE NOTES

- 1. BATHROOM FIXTURES SHALL BE SPACED IN ACCORDANCE WITH FIGURE R307.1.
2. EACH PANE OF GLAZING INSTALLED IN A HAZARDOUS LOCATION AS DEFINED BY SECTION R308.4 SHALL BE PROVIDED WITH A MANUFACTURER'S DESIGNATION.

VENTILATION DATA

WHOLE HOUSE VENTILATION TO BE PROVIDED PER M1505.4 WHOLE HOUSE VENTILATION USING A HEAT RECOVERY SYSTEM. ALL DUCT WORK IN HEAT RECOVERY SYSTEMS SHALL BE SIZED AND INSTALLED PER THE MANUFACTURER'S INSTRUCTIONS.

WHOLE HOUSE VENTILATION SUPPLY AND EXHAUST FANS SHALL HAVE A MINIMUM EFFICACY AS PRESCRIBED IN THE WASHINGTON STATE ENERGY CODE.

OUTDOOR AIR INLETS SHALL BE SCREENED OR OTHERWISE PROTECTED FROM ENTRY BY LEAVES OR OTHER MATERIAL. OUTDOOR AIR INLETS SHALL BE LOCATED SO AS NOT TO TAKE AIR FROM THE FOLLOWING AREAS:

- 1. CLOSER THAN 10 FEET FROM AN APPLIANCE VENT OUTLET, UNLESS SUCH VENT OUTLET IS 3 FEET ABOVE THE OUTDOOR AIR INLET.
2. WHERE IT WILL PICK UP OBJECTIONABLE ODORS, FUMES, OR FLAMMABLE VAPORS.

DWELLING UNIT FLOOR AREA (3001-4500 SF / 5 BEDROOMS)
TABLE M1505.4.3(1) REQ'D AIRFLOW = 90 CFM
TABLE M1505.4.3(2) CONTINUOUSLY REQUIRED CFM = 90 X 1 = 90 CFM

LOCAL EXHAUST SHALL BE PROVIDED IN EACH TOILET ROOMS, KITCHEN, AND BATHROOM. LOCAL EXHAUST SYSTEMS SHALL BE DESIGNED TO HAVE THE CAPACITY TO EXHAUST THE MINIMUM AIR FLOW RATE DETERMINED IN ACCORDANCE WITH TABLE M1505.4.4.

FULL DETAIL OF HEAT RECOVERY VENTILATION SYSTEM SHALL BE PROVIDED BY SEPARATE MECHANICAL PERMIT.

FIRE PROTECTION

- 1. NFPA 13R FIRE SPRINKLER SYSTEM TO BE INSTALLED PER NFPA 13R AND COMI STANDARDS. A SEPARATE FIRE PERMIT IS REQUIRED.
2. MONITORED FIRE ALARM SYSTEM TO BE INSTALLED PER NFPA 72 CHAPTER 29, COMI AND NFPA 72 STANDARDS. A SEPARATE FIRE PERMIT IS REQUIRED.

LIST OF DRAWINGS

Table listing drawing titles and sheet numbers: G000 PROJECT INFORMATION, G100 LAND USE CALCULATIONS, SURVEY STORMWATER SITE PLAN SWPPP DETAILS, L1 LANDSCAPE PLAN, L2 LANDSCAPE PLAN, A000 ASSEMBLIES, A100 SITE PLAN, A200 FOUNDATION PLAN, A201 BASEMENT PLAN, A202 LEVEL 1 PLAN, A203 LEVEL 2 PLAN, A204 ROOF PLAN, A300 ELEVATIONS, A301 ELEVATIONS, A400 BUILDING SECTIONS, A401 BUILDING SECTIONS, A900 WINDOW/DOOR SCHEDULES, S1.0 GENERAL STRUCTURAL NOTES, S1.1 GENERAL STRUCTURAL NOTES, S2.0 LOWER FOUNDATION PLAN, S2.1 MAIN FLOOR FRAMING & UPPER FOUNDATION PLAN, S2.2 MAIN FLOOR CEILING FRAMING PLAN, S2.3 UPPER FLOOR FRAMING PLAN, S2.4 ROOF FRAMING PLAN, S3.0 STRUCTURAL DETAILS, S3.1 STRUCTURAL DETAILS, S3.2 STRUCTURAL DETAILS, S3.3 STRUCTURAL DETAILS, S3.4 STRUCTURAL DETAILS.

CONTACTS

Table listing contact information for ARCHITECT, CONTACT, STRUCTURAL ENGINEER, LANDSCAPE ARCHITECT, CONTACT, GEOTECH, CONTACT, CONTACT.

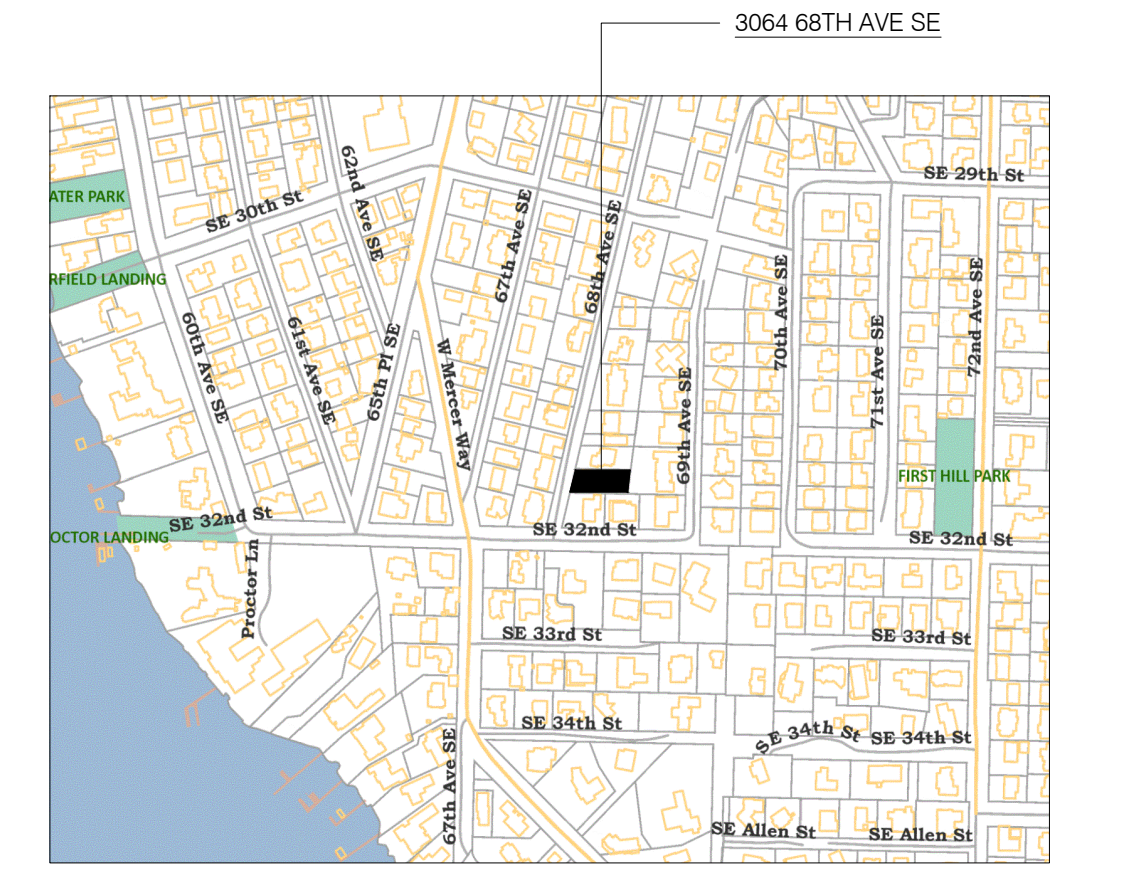
PROJECT INFORMATION

PROJECT DESCRIPTION: DEMOLITION OF EXISTING SINGLE FAMILY RESIDENCE & DETACHED CARPORT. CONSTRUCTION OF NEW SINGLE FAMILY RESIDENCE & ATTACHED ACCESSORY DWELLING UNIT.

PROJECT ADDRESS: 3064 68TH AVE SE MERCER ISLAND, WA 98040

LEGAL DESCRIPTION: LOTS 4 AND 5, BLOCK 39, EAST SEATTLE BLOCKS 39 & 40, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 4 OF PLATS, PAGE 21, RECORDS OF KING COUNTY, WASHINGTON; SITUATE IN THE CITY OF MERCER ISLAND, COUNTY OF KING, STATE OF WASHINGTON.

APN: 217510-0020



VICINITY MAP

workshop AD

310 South Washington Street
Seattle, WA 98104
206.903.5414 T
206.682.0317 F
www.workshopad.com

3064 68TH AVE SE

BUILDING PERMIT SUBMITTAL



BUILDING PERMIT SUBMITTAL

JAN 18, 2023

BUILDING PERMIT CORRECTION 1

JULY 7, 2023

BUILDING PERMIT CORRECTION 2

AUG 8, 2023

Jurisdiction Review

Owner Name
SAM FRANKLIN + JUNE CADENHEAD

Project Address
3064 68TH AVE SE
MERCER ISLAND, WA 98040

Table for Sheet Information: Job Number 2209, Drawn DR / TL, Checked SB, Title PROJECT INFO

Sheet

G000

**GFA CALCULATIONS**

GROSS FLOOR AREA CALCULATIONS			
LOT AREA			8,811
FLOOR AREA RATIO		40%	
MAX ALLOWABLE GFA			3,524
ADU ALLOWANCE			
		LESS OF 5% OF LOT OR	
		ADU GFA	441
		5% OF LOT	441
		ADU GFA	460
		MAX ALLOWABLE GFA WITH ADU ALLOWANCE	3,965
SFR			
	GFA	EXCLUDE PER APPENDIX B	CHARGABLE GFA
BASEMENT	1,398	60.89%	547
LEVEL 1	1,697		1,697
L1 COVER DECK	134		134
STAIR EXCLUDE PER			
LEVEL 2	1,521	43	1,478
L2 COVER DECK	44		44
		3,900	COMPLIES

BASEMENT GFA EMPT - TABLE OF WALL LENGTHS AND COVERAGE					
SEGMENT	LENGTH	M.P. HEIGHT	TOTAL WALL HEIGHT	COVERAGE %	RESULT
W1	42.50	0.00	8.50	0%	0.00
S1	22.00	2.70	8.50	32%	6.99
E1	6.50	5.50	8.50	95%	4.21
S2	6.00	6.80	8.50	80%	4.80
E2	13.33	8.00	8.50	94%	12.55
S3	28.50	8.50	8.50	100%	28.50
E3	8.67	8.50	8.50	100%	8.67
N1	28.50	8.50	8.50	100%	28.50
E4	14.00	8.00	8.50	94%	13.18
N2	28.00	4.00	8.50	47%	13.18
TOTAL	198.00				120.56
EXCLUDED FROM GFA (PERCENTAGE AND AREA)				60.89%	851

NOTE:  
REFER TO A300, A301, 2/A401 FOR WALL M.P. HEIGHT

PORTION OF EXCLUDED BASEMENT:  
1398 SF x 60.89% = 851 SF EXCLUDED FROM GFA

**AVG BUILDING ELEVATION CALCULATIONS**

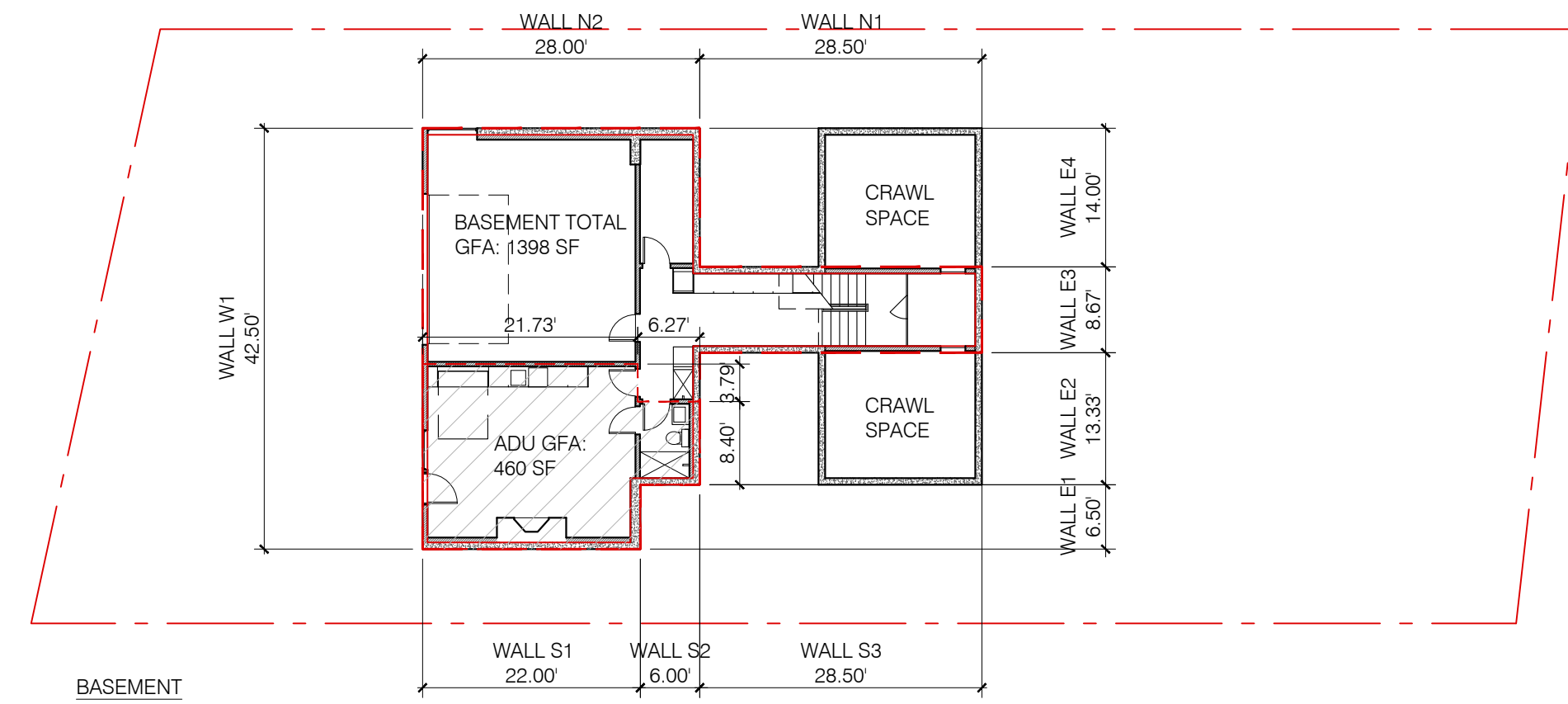
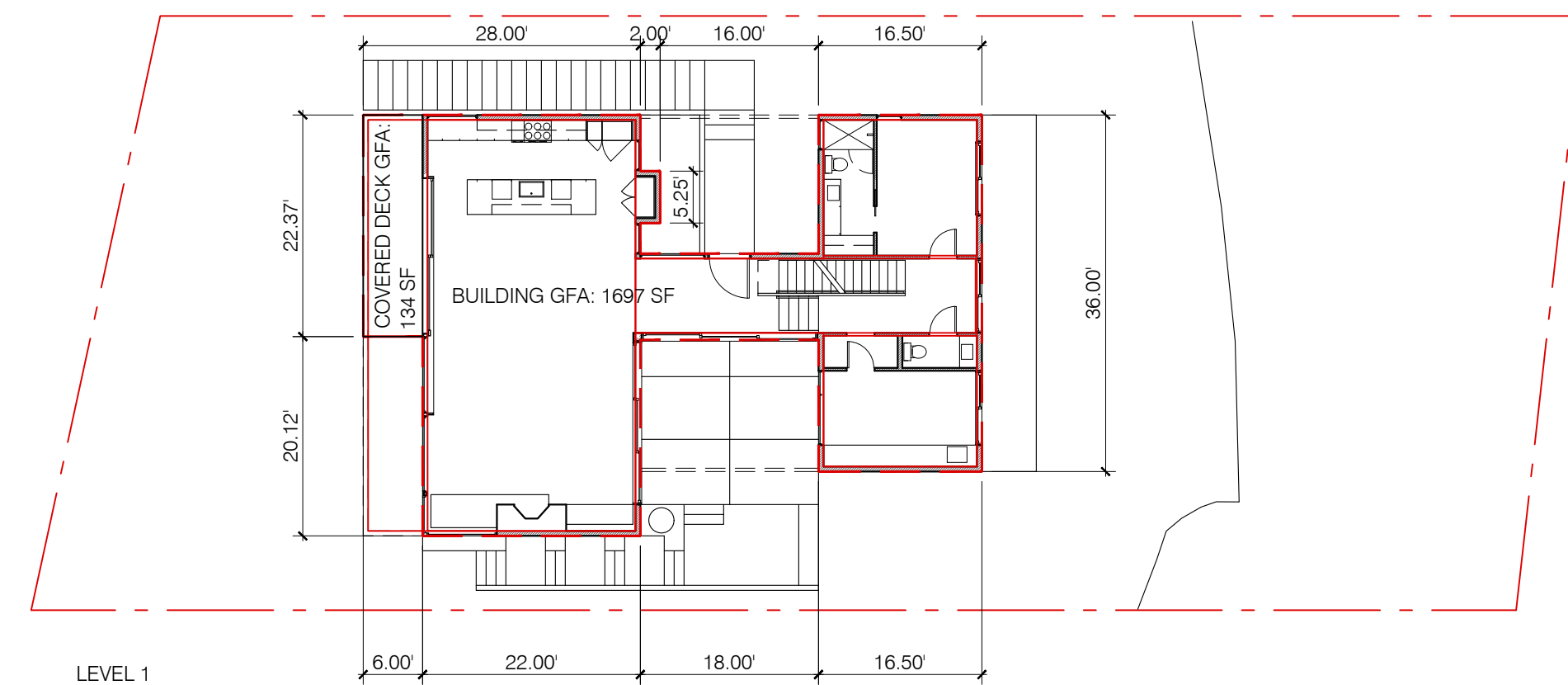
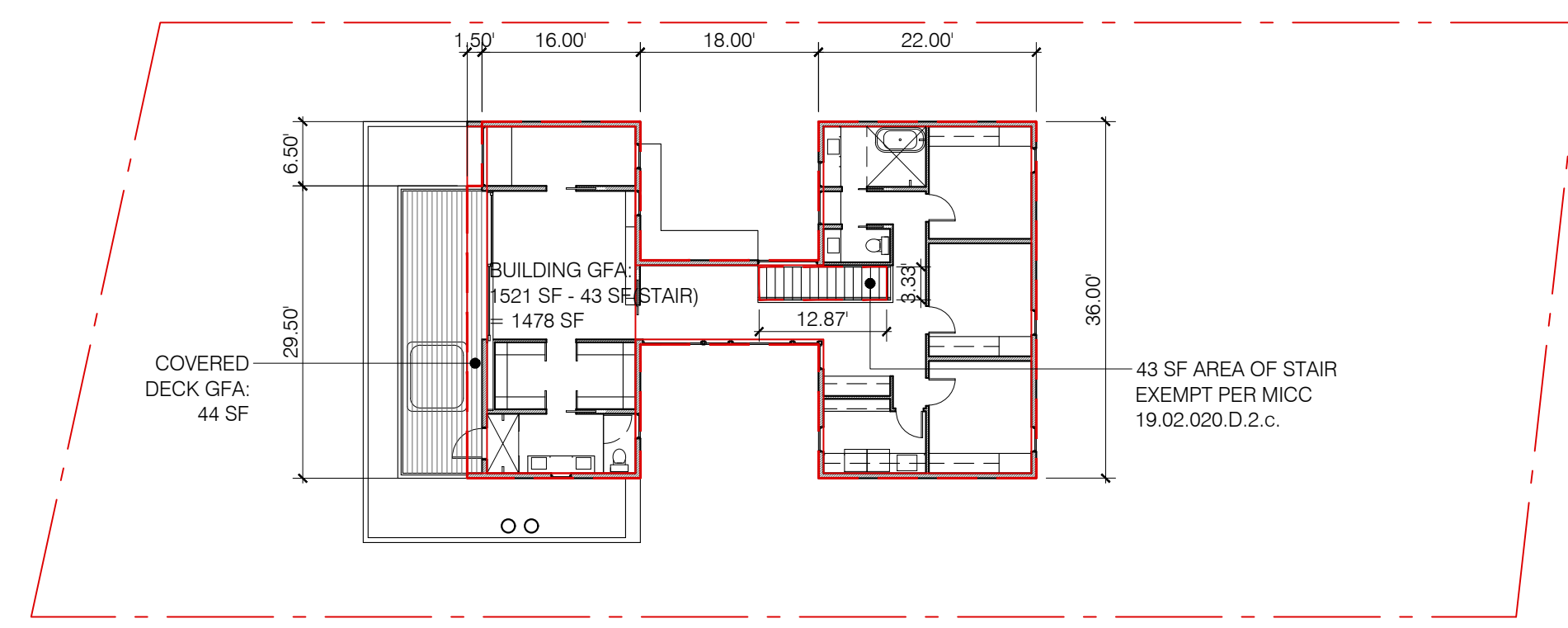
AVERAGE BUILDING ELEVATION			
midpoint elevation	façade length	(length x elev)	
W1	42.50	5652.5	
S1	22.00	2985.4	
E1	138.5	900.3	
S2	138.8	838.8	
E2	141.0	1879.5	
S4	142.0	1704.0	
W2	143.0	1906.2	
S5	145.0	2392.5	
E5	145.5	5238.0	
N3	146.0	2409.0	
W3	143.0	2002.0	
N4	142.0	1704.0	
E4	141.0	1974.0	
N2	137.0	3836.0	
		35422.2	total
		252.7	total length
		140.2	average elev (total / total length)
		170.2	30' height limit

**LOT SLOPE CALCULATION**

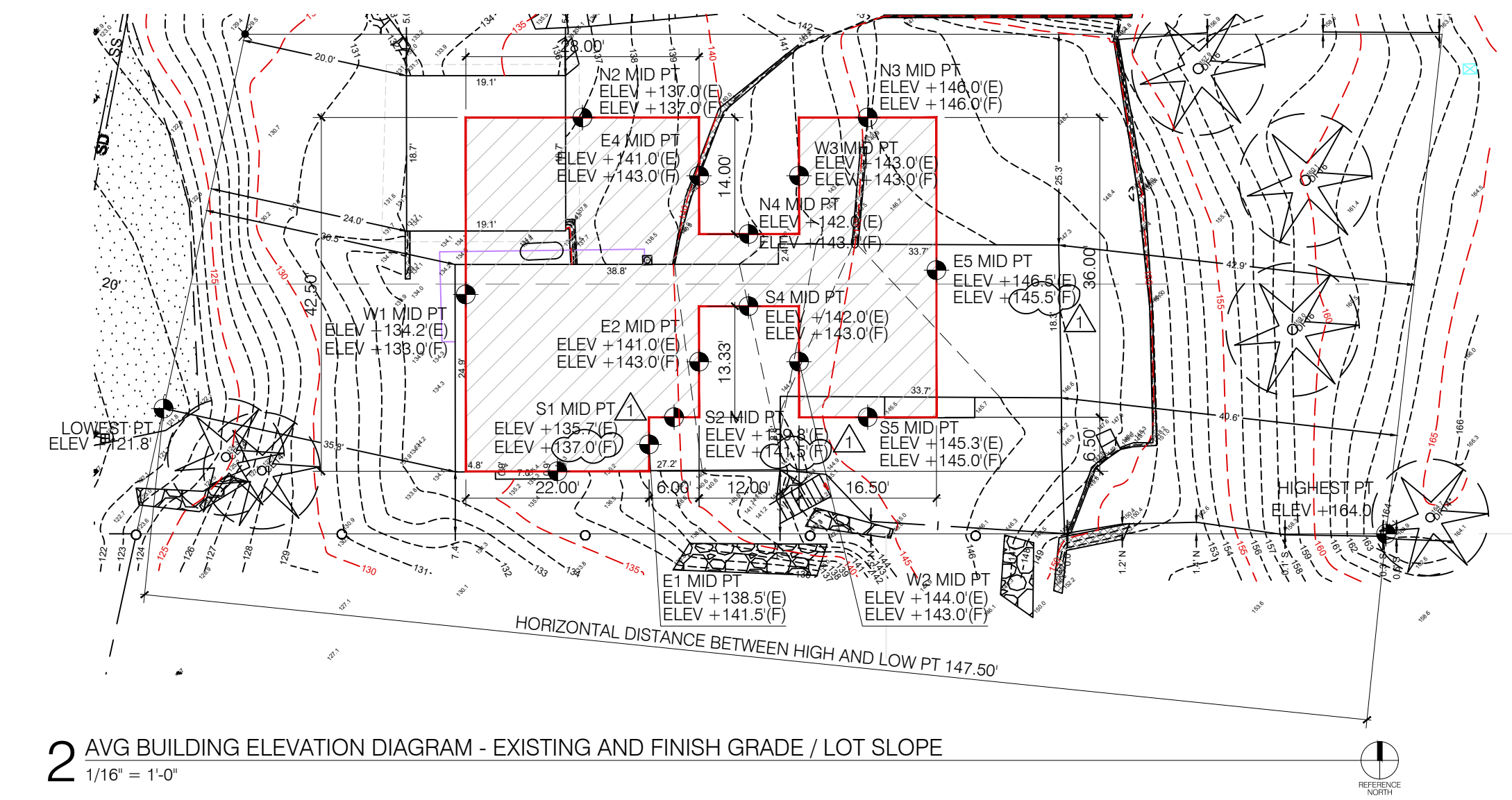
HIGHEST PT ELEVATION: +164.0'  
LOWEST PT ELEVATION: +121.8'  
ELEVATION DIFFERENCE: 42.2'

HORIZONTAL DISTANCE BETWEEN HIGH AND LOW PT: 147.5'

LOT SLOPE = 42.2' / 147.5' = 28.6 %

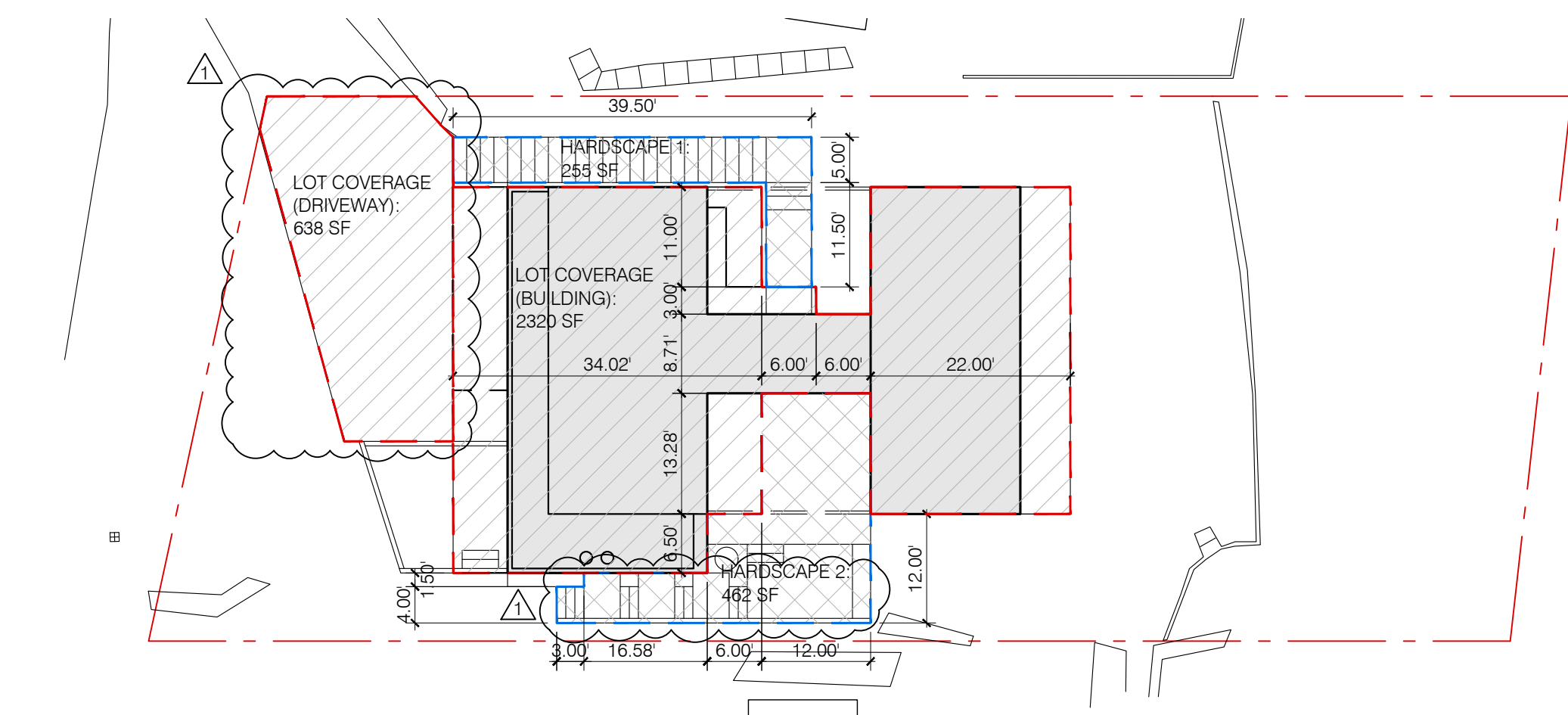


2 GFA DIAGRAMS  
1/16" = 1'-0"



**LOT COVERAGE AND HARDSCAPE CALCULATIONS**

LOT COVERAGE CALCULATION			
LOT AREA			8,811
MAX COVERAGE (35%)			3,084
PROPOSED COVERAGE			
	BUILDING	2,320	
	DRIVEWAY	638	
TOTAL		2,958	COMPLIES
MAX HARDSCAPE (9%)			
	H1	255	
	H2	462	
TOTAL		717	COMPLIES



1 LOT COVERAGE PLAN DIAGRAM  
1/16" = 1'-0"

3064 68TH AVE SE

BUILDING PERMIT SUBMITTAL



BUILDING PERMIT SUBMITTAL  
JAN. 18, 2023  
BUILDING PERMIT CORRECTION 1  
JULY 7, 2023  
BUILDING PERMIT CORRECTION 2  
AUG. 8, 2023

Jurisdiction Review

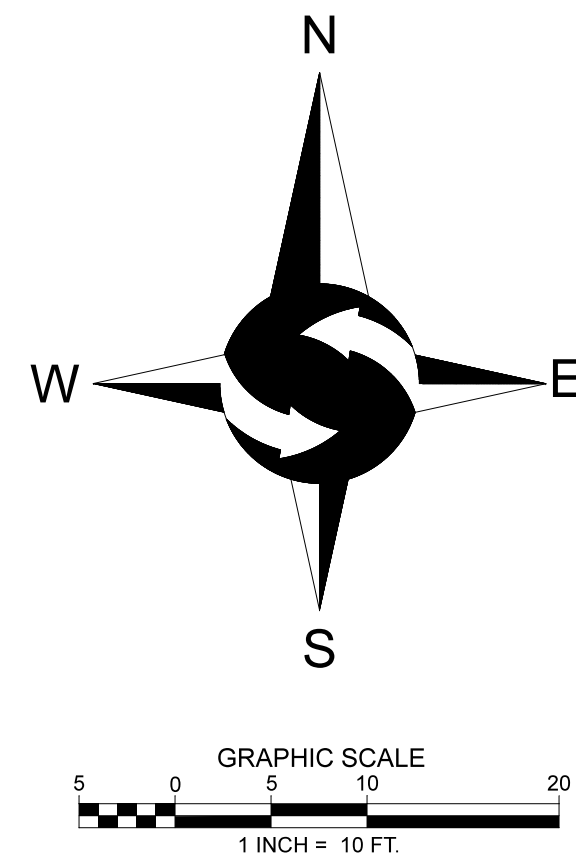
Owner Name  
SAM FRANKLIN + JUNE CADENHEAD

Project Address  
3064 68TH AVE SE  
MERCER ISLAND, WA 98040

Sheet Information  
Job Number 2209  
Drawn DR / TL  
Checked SB  
Title  
LAND USE CALCULATIONS

Sheet

**G100**



**LEGEND**

	FOUND MONUMENT IN CASE		OHP— OVERHEAD POWER
	FOUND REBAR AS DESCRIBED		—X— CHAINLINK FENCE
	SET MAG NAILS AS DESCRIBED		-□- WOOD FENCE
	POWER METER		- - - WIRE FENCE
	UTILITY POLE		▨ TIMBER WALL
	MAILBOX		▩ CONCRETE WALL
	STORM DRAIN MANHOLE		⬤ ROCKERY
	CATCH BASIN SOLID LID		▨ ASPHALT SURFACE
	CATCH BASIN		▩ CONCRETE SURFACE
	SANITARY SEWER MANHOLE		▨ GRAVEL SURFACE
	WATER VALVE		▩ BRICK SURFACE
	FIRE HYDRANT		CE CEDAR
	WATER METER		DF DOUGLAS FIR
	—SS— APPROXIMATE LOCATION SANITARY SEWER LINE		* INDICATES MULTI-TRUNK
	—SD— APPROXIMATE LOCATION STORM DRAIN LINE		
	—G— APPROXIMATE LOCATION UNDERGROUND GAS LINE		
	—W— APPROXIMATE LOCATION UNDERGROUND WATER LINE		

**LEGAL DESCRIPTION**

LOTS 4 AND 5, BLOCK 39, EAST SEATTLE BLOCKS 39 & 40, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 4 OF PLATS, PAGE 21, RECORDS OF KING COUNTY, WASHINGTON. SITUATE IN THE CITY OF MERCER ISLAND, COUNTY OF KING, STATE OF WASHINGTON.

**BASIS OF BEARINGS**

RECORD OF SURVEY BY TERRANE FOR LOUIE SCALZO, RECORDED ON OCTOBER 19, 2017, IN VOLUME 372 OF SURVEYS, PAGES 200 AND 201, UNDER RECORDING NO. 20171019900001, RECORDS OF KING COUNTY, WASHINGTON.

**PROJECT INFORMATION**

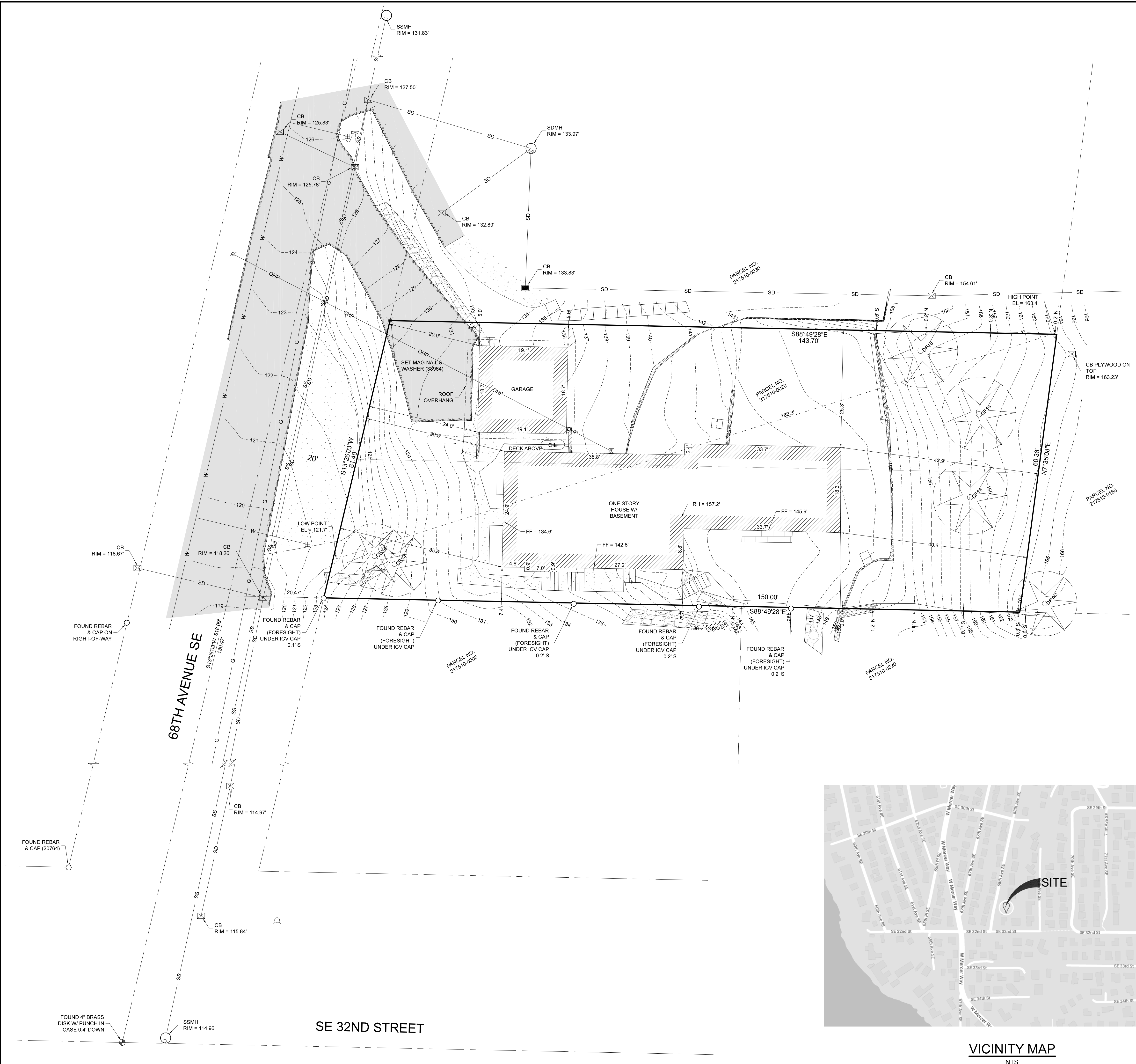
PROPERTY OWNER:	MARY KAY NELSON 3064 68TH AVENUE SE MERCER ISLAND, WA 98040
TAX PARCEL NUMBER:	217510-0020
PROJECT ADDRESS:	3064 68TH AVENUE SE MERCER ISLAND, WA 98040
ZONING:	R-8.4
JURISDICTION:	CITY OF MERCER ISLAND
PARCEL ACREAGE:	8.811 S.F. (0.202 ACRES) AS SURVEYED

**GENERAL NOTES**

- THIS SURVEY WAS COMPLETED WITHOUT BENEFIT OF A CURRENT TITLE REPORT. EASEMENTS AND OTHER ENCUMBRANCES MAY EXIST ON THIS PROPERTY THAT ARE NOT SHOWN HEREON.
- INSTRUMENTATION FOR THIS SURVEY WAS A 3-SECOND SPECTRAPRECISION FOCUS 35 TOTAL STATION AND AN EMLID REACH RS2 GPS RECEIVER. PROCEDURES USED IN THIS SURVEY MEET OR EXCEED STANDARDS SET BY WAC 332-130-090.
- THE INFORMATION ON THIS MAP REPRESENTS THE RESULTS OF A SURVEY MADE IN MAY 2022 AND CAN ONLY BE CONSIDERED AS INDICATING THE GENERAL CONDITIONS EXISTING AT THAT TIME.
- UTILITIES SHOWN ON THIS SURVEY ARE BASED UPON ABOVE GROUND OBSERVATIONS AND AS-BUILT PLANS WHERE AVAILABLE. ACTUAL LOCATIONS OF UNDERGROUND UTILITIES MAY VARY AND UTILITIES NOT SHOWN ON THIS SURVEY MAY EXIST ON THIS SITE.
- ALL MONUMENTS WERE LOCATED DURING THIS SURVEY UNLESS OTHERWISE NOTED.

**VERTICAL DATUM & CONTOUR INTERVAL**

ELEVATIONS SHOWN ON THIS DRAWING WERE DERIVED FROM INFORMATION PROVIDED BY WCCS SURVEY CONTROL DATABASE.  
 THE MARK IS A MONUMENT IN CASE AT THE INTERSECTION OF SE 32ND STREET AND 68TH AVENUE NE.  
 POINT ID NO. 502.  
 ELEVATION: 112.571 FEET - NAVD 88  
 1' CONTOUR INTERVAL - THE EXPECTED VERTICAL ACCURACY IS EQUAL TO 1/2 THE CONTOUR INTERVAL OR PLUS / MINUS 0.5' FOR THIS PROJECT.



SW 1/4, NW 1/4, SEC 12, TWP 24N, RNG 4E, W.M.

**Site Surveying, Inc.**

REVIEWED FOR CODE COMPLIANCE August 21, 2023

www.sitesurveying.com  
 21923 NE 11th Street Sammamish, WA 98074  
 Phone: 425.268.4412

DATE	REVISION	DRN

**TOPOGRAPHIC SURVEY**

SAM FRANKLIN  
 3064 68TH AVENUE SE  
 MERCER ISLAND, WA 98040

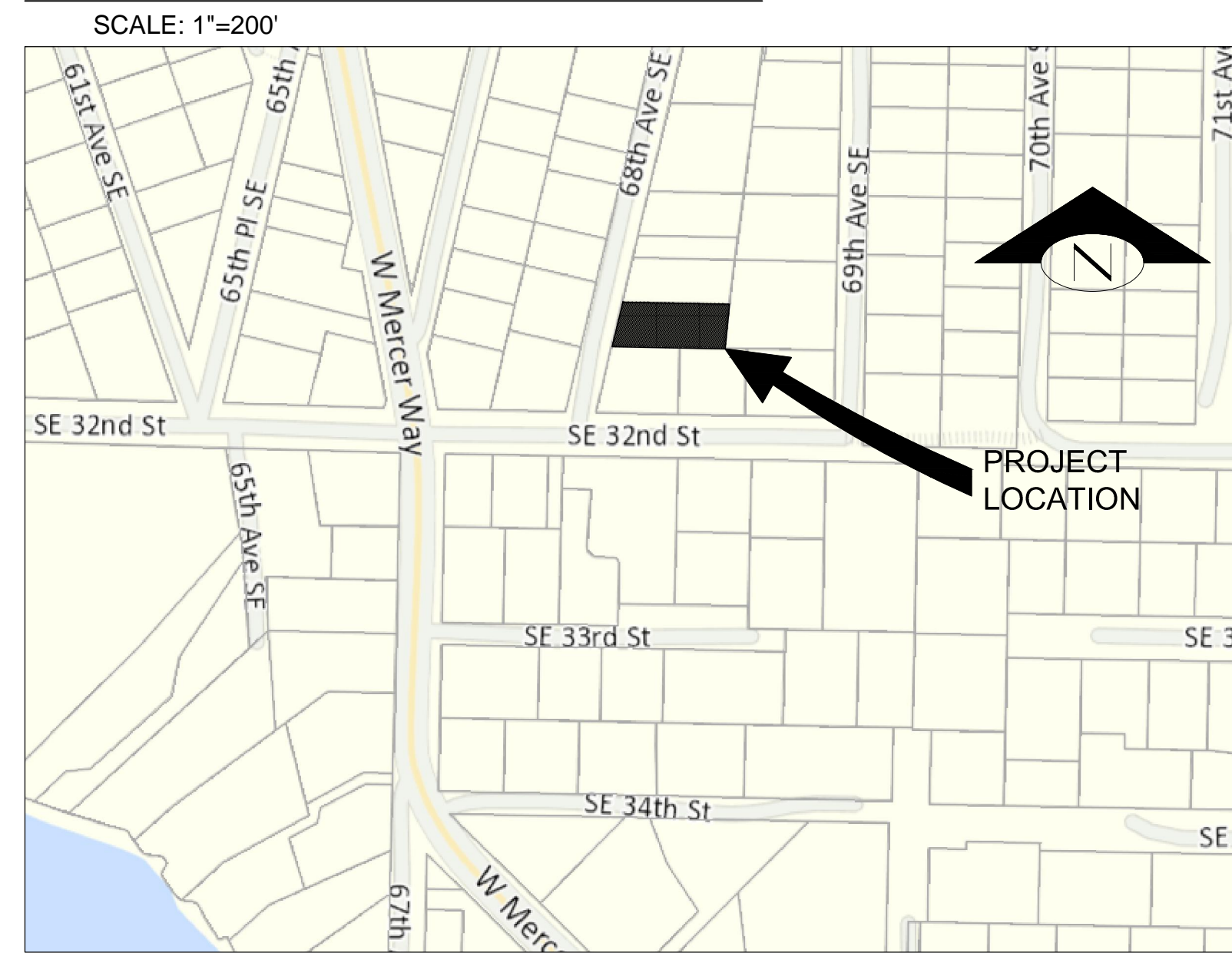
PROJECT NO. 22-254

DRAWN BY: MTS  
 CHECKED BY: TNW  
 DATE: 5/4/2022

SHEET 1 OF 1

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**VICINITY MAP**

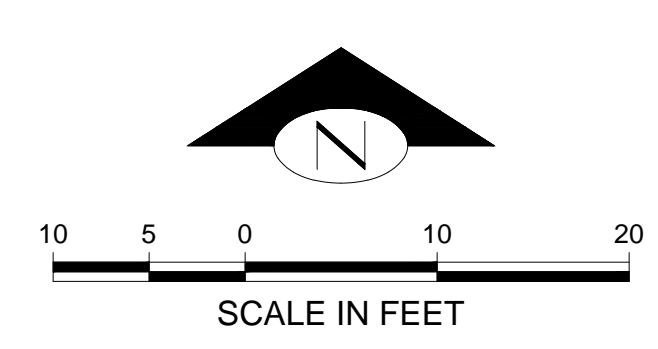
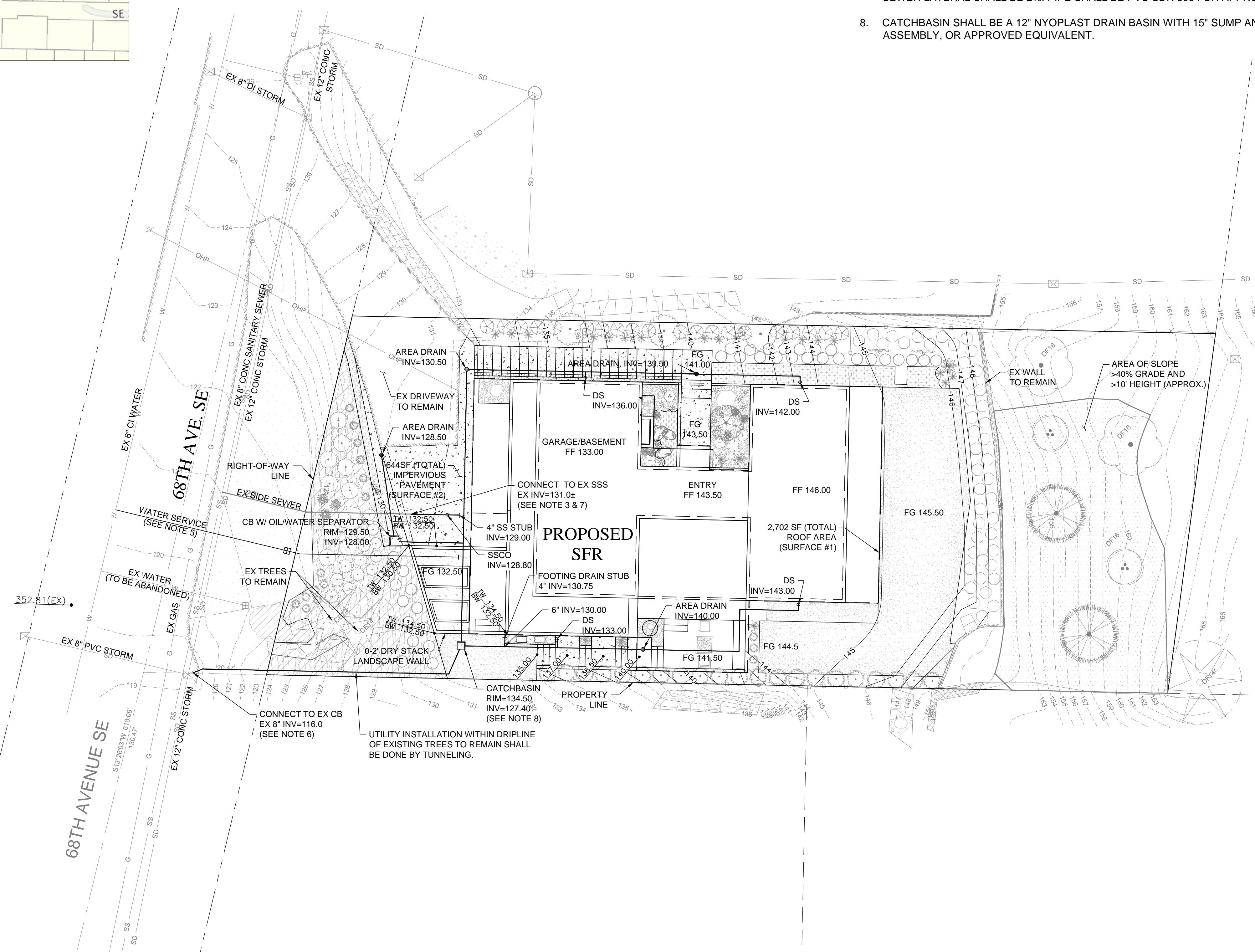


**LEGAL DESCRIPTION**

LOTS 4 AND 5, BLOCK 39, EAST SEATTLE BLOCKS 39 & 40, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 4 OF PLATS, PAGE 21, RECORDS OF KING COUNTY, WASHINGTON:  
SITUATE IN THE CITY OF MERCER ISLAND, COUNTY OF KING, STATE OF WASHINGTON.

**NOTES**

1. THE CONTRACTOR SHALL PROTECT EXISTING PAVEMENT TO REMAIN. IF ROADWAY SURFACE IS DISTURBED DURING CONSTRUCTION THE CONTRACTOR SHALL COORDINATE RESTORATION LIMITS WITH THE INSPECTOR.
2. ALL ON-SITE STORM LINES SHALL BE 6" PVC, HAVE A MINIMUM 2% SLOPE, AND A MINIMUM COVER OF 1.0' IN LANDSCAPED AREAS AND 2.0' IN AREAS SUBJECT TO VEHICULAR TRAFFIC, UNLESS OTHERWISE NOTED.
3. CONTRACTOR TO VERIFY SIZE, LOCATION AND CONDITION OF EX SSS TO BE REUSED. THE TV INSPECTION OF THE EXISTING SIDE SEWER TO THE CITY SEWER MAIN ON 68TH AVE SE IS REQUIRED PRIOR TO ANY WORK RELATED TO THE SIDE SEWER. IF THE RESULT OF THE TV INSPECTION IS NOT IN SATISFACTORY CONDITION, AS DETERMINED BY THE CITY OF MERCER ISLAND INSPECTOR, THE REPLACEMENT OF THE EXISTING SIDE SEWER IS REQUIRED.
4. PROJECT PROPOSES TO PRODUCE APPROXIMATE 550 CUBIC YARDS OF CUT RELATED TO EXCAVATION FOR CONSTRUCTION OF THE PROPOSED BASEMENT. EXCAVATED SOILS SHALL BE HAULED OFF-SITE.
5. NEW 2-INCH WATER SERVICE WITH 1.5-INCH METER PER STANDARD DETAIL W-14. REFER TO WATER SERVICE PERMIT FOR ACTUAL LOCATION OF NEW WATER METER AND SERVICE LINE BY MERCER ISLAND WATER DEPARTMENT.
6. IF THE EXISTING CATCH BASIN IS NOT IN SATISFACTORY CONDITION, AS DETERMINED BY THE CITY OF MERCER ISLAND INSPECTOR, THE REPLACEMENT OF THE EXISTING CATCH BASIN IS REQUIRED.
7. ESTIMATED INVERT OF EXISTING SIDE SEWER SHOWN ON PLANS. MINIMUM SLOPE OF 4" SANITARY SEWER LATERAL SHALL BE 2%. PIPE SHALL BE PVC SDR 3034 OR APPROVED EQUIVALENT.
8. CATCHBASIN SHALL BE A 12" NYOPLAST DRAIN BASIN WITH 15" SUMP AND 12" PEDESTRIAN GRATE ASSEMBLY, OR APPROVED EQUIVALENT.



Green Lake Engineering, LLC  
6045 4th Ave. NE  
Seattle, WA 98115  
Phone: 206-898-4269



**68TH AVE SE**  
BUILDING PERMIT SUBMITTAL

BUILDING PERMIT SUBMITTAL 12.30.2022  
REVISED BUILDING PERMIT SUBMITTAL 07.14.2023  
REVISED BUILDING PERMIT SUBMITTAL 07.27.2023

Jurisdiction Review

Owner Name  
SAM FRANKLIN + JUNE CADENHEAD  
Project Address  
3064 68TH AVE SE  
MERCER ISLAND, WA 98040

Sheet Information	
Job Number	2209
Drawn	RMK
Checked	RMK
Title	

**STORMWATER SITE PLAN**

Sheet

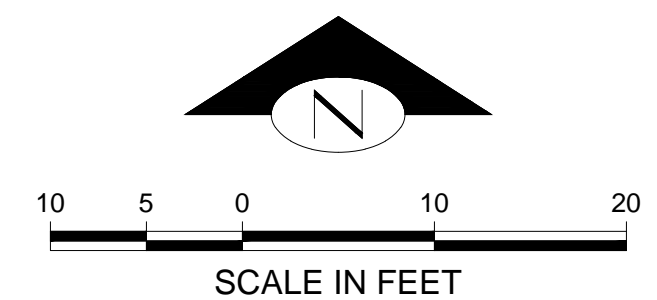
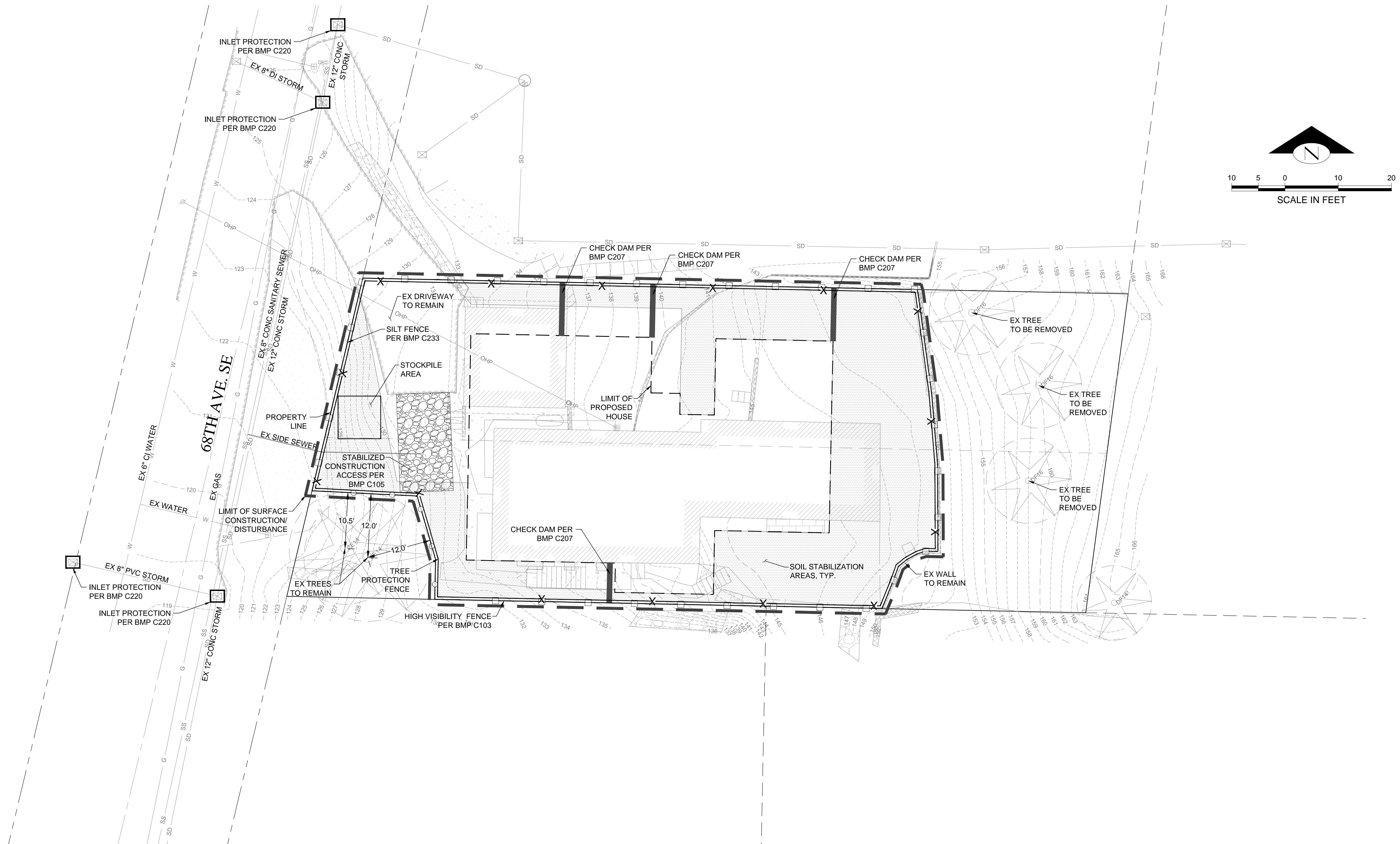


Green Lake Engineering, LLC  
 6045 4th Ave. NE  
 Seattle, WA 98115  
 Phone: 206-898-4269



**NOTES**

1. AREAS REQUIRED TO PROVIDE POST-CONSTRUCTION SOIL QUALITY AND DEPTH PER MINIMUM REQUIREMENT #5 SHALL PROVIDE A TOPSOIL LAYER WITH A MINIMUM ORGANIC MATTER CONTENT OF TEN PERCENT DRY WEIGHT IN PLANTING BEDS, AND 5% ORGANIC MATTER CONTENT IN TURF AREAS, AND A PH FROM 6.0 TO 8.0 OR MATCHING THE PH OF THE ORIGINAL UNDISTURBED SOIL. THE TOPSOIL LAYER SHALL HAVE A MINIMUM DEPTH OF EIGHT INCHES EXCEPT WHERE TREE ROOTS LIMIT THE DEPTH OF INCORPORATION OF AMENDMENTS NEEDED TO MEET THE CRITERIA. SUBSOILS BELOW THE TOPSOIL LAYER SHOULD BE SCARIFIED AT LEAST 4 INCHES WITH SOME INCORPORATION OF THE UPPER MATERIAL TO AVOID STRATIFIED LAYERS, WHERE FEASIBLE.
2. PLANTING BEDS MUST BE MULCHED WITH 2 INCHES OF ORGANIC MATERIAL.
3. LANDSCAPED AREAS THAT WILL REQUIRE POST CONSTRUCTION SOIL QUALITY AND DEPTH PER BMP T5.13.
  - 3.1. LAWN = 991 SF
  - 3.2. PLANER = 1,927 SF



**REVIEWED FOR CODE COMPLIANCE**  
 August 21, 2023  
 SITE COPY

**68TH AVE SE**  
 BUILDING PERMIT SUBMITTAL

BUILDING PERMIT SUBMITTAL  
 12.30.2022  
 REVISED BUILDING PERMIT SUBMITTAL  
 08.03.2023

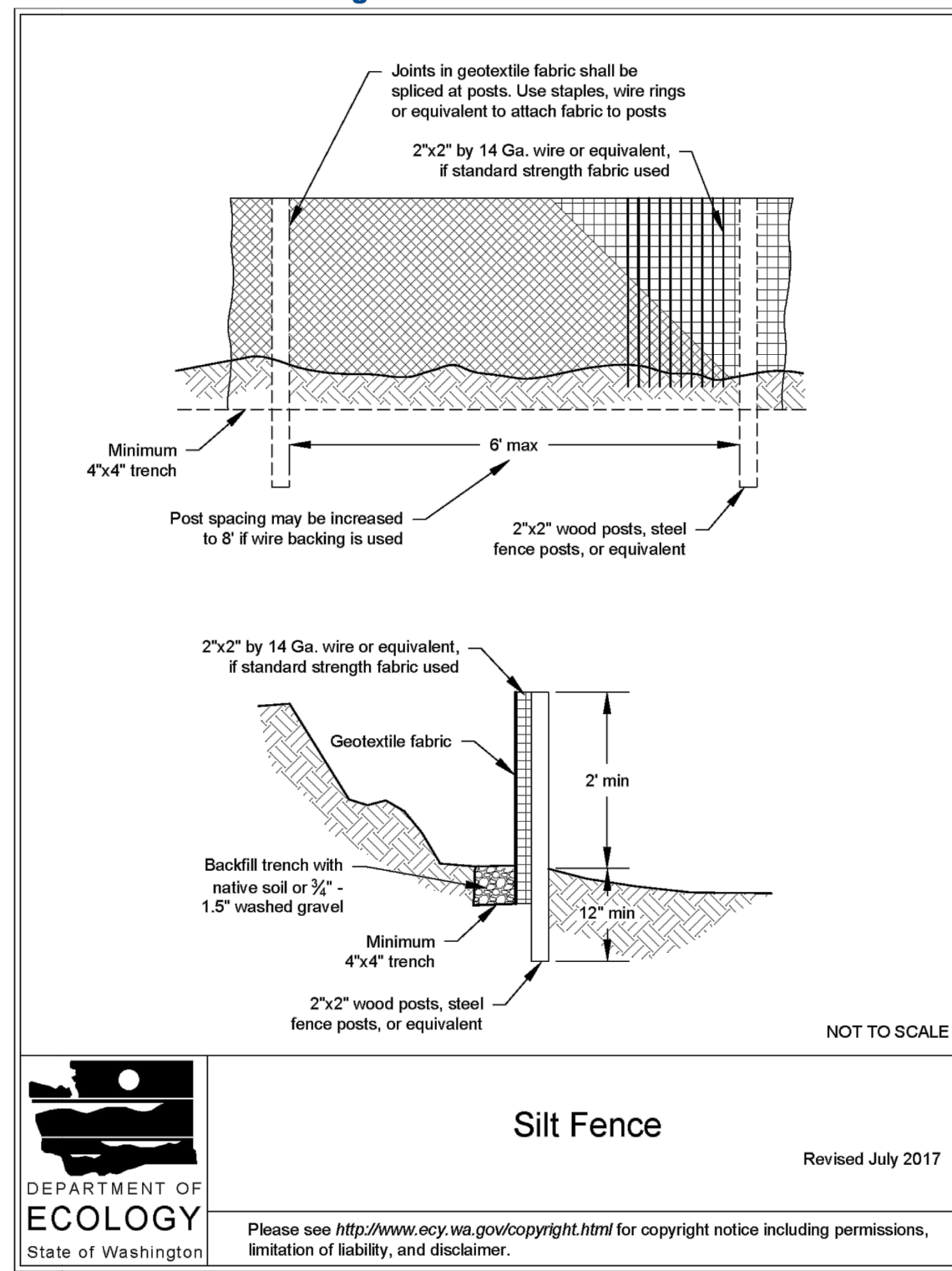
Jurisdiction Review

Owner Name  
 SAM FRANKLIN + JUNE CADENHEAD  
 Project Address  
 3064 68TH AVE SE  
 MERCER ISLAND, WA 98040

Sheet Information	
Job Number	2209
Drawn	RMK
Checked	RMK
Title	

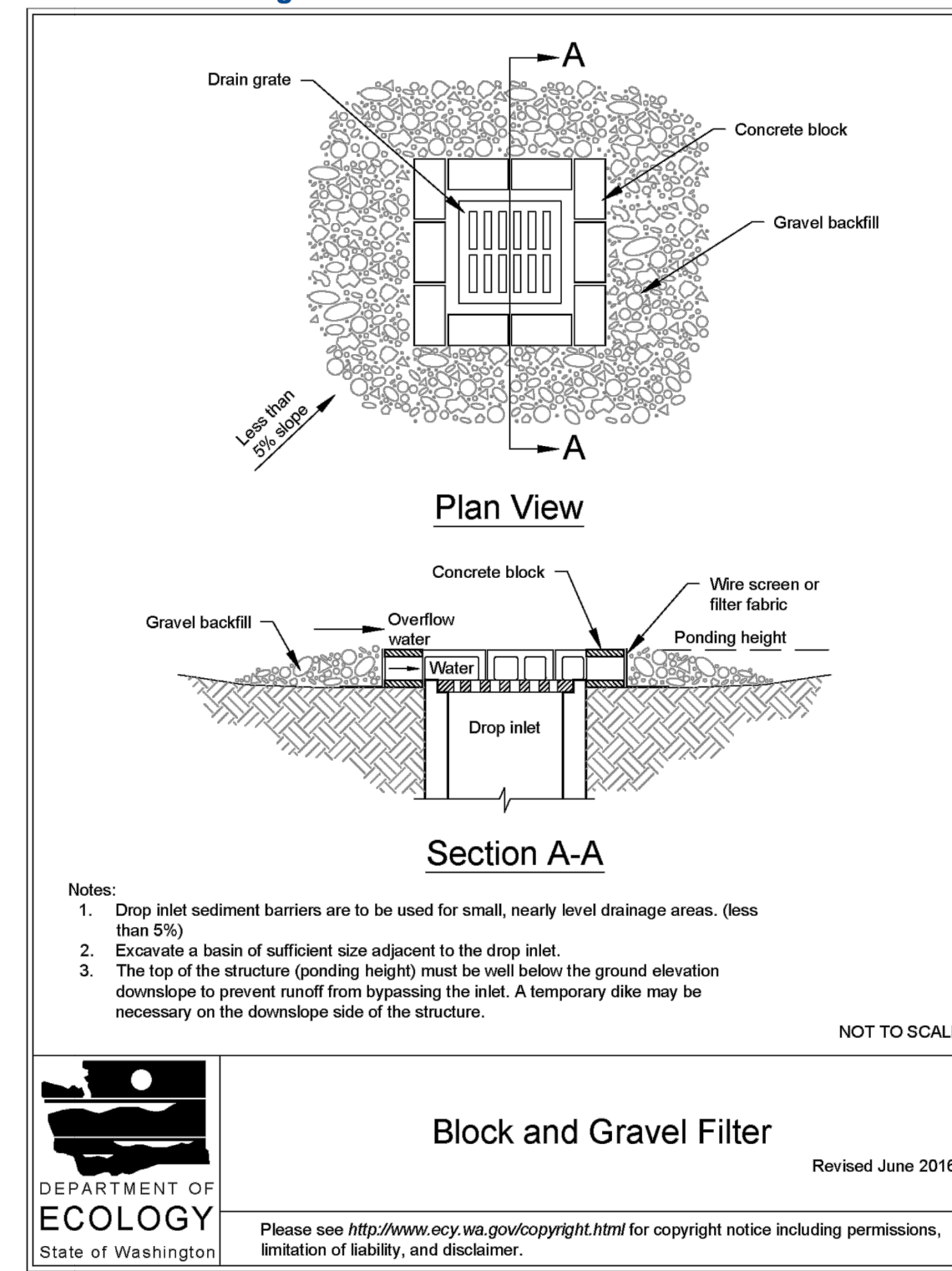
SWPPP Sheet

Figure II-3.22: Silt Fence



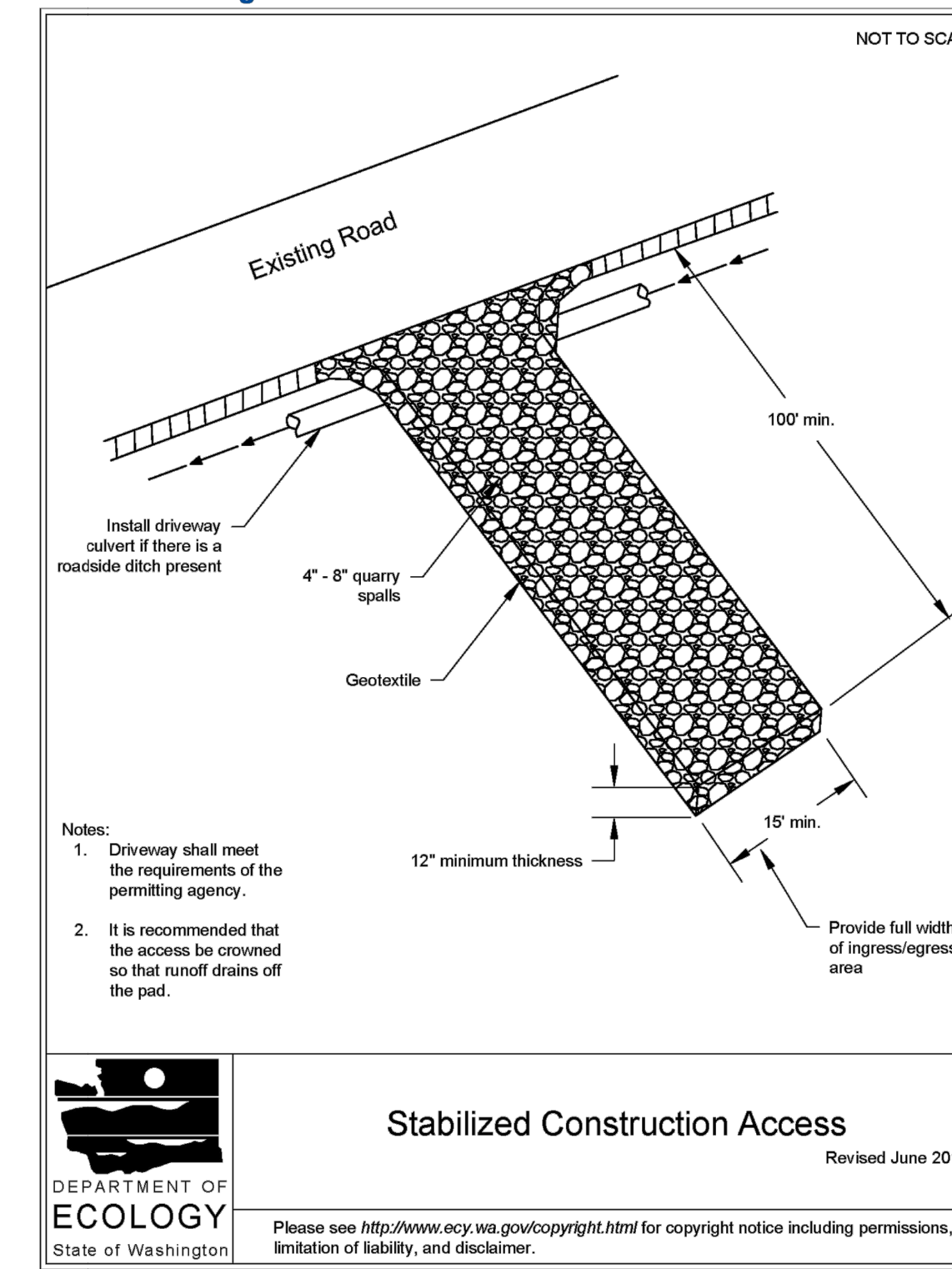
2019 Stormwater Management Manual for Western Washington  
Volume II - Chapter 3 - Page 371

Figure II-3.17: Block and Gravel Filter



2019 Stormwater Management Manual for Western Washington  
Volume II - Chapter 3 - Page 359

Figure II-3.1: Stabilized Construction Access



2019 Stormwater Management Manual for Western Washington  
Volume II - Chapter 3 - Page 279



Green Lake Engineering, LLC  
6045 4th Ave. NE  
Seattle, WA 98115  
Phone: 206-898-4269



68TH AVE SE  
BUILDING PERMIT SUBMIT

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12.30.2022  
REVISED BUILDING PERMIT SUBMITTAL  
07.14.2023

Jurisdiction Review

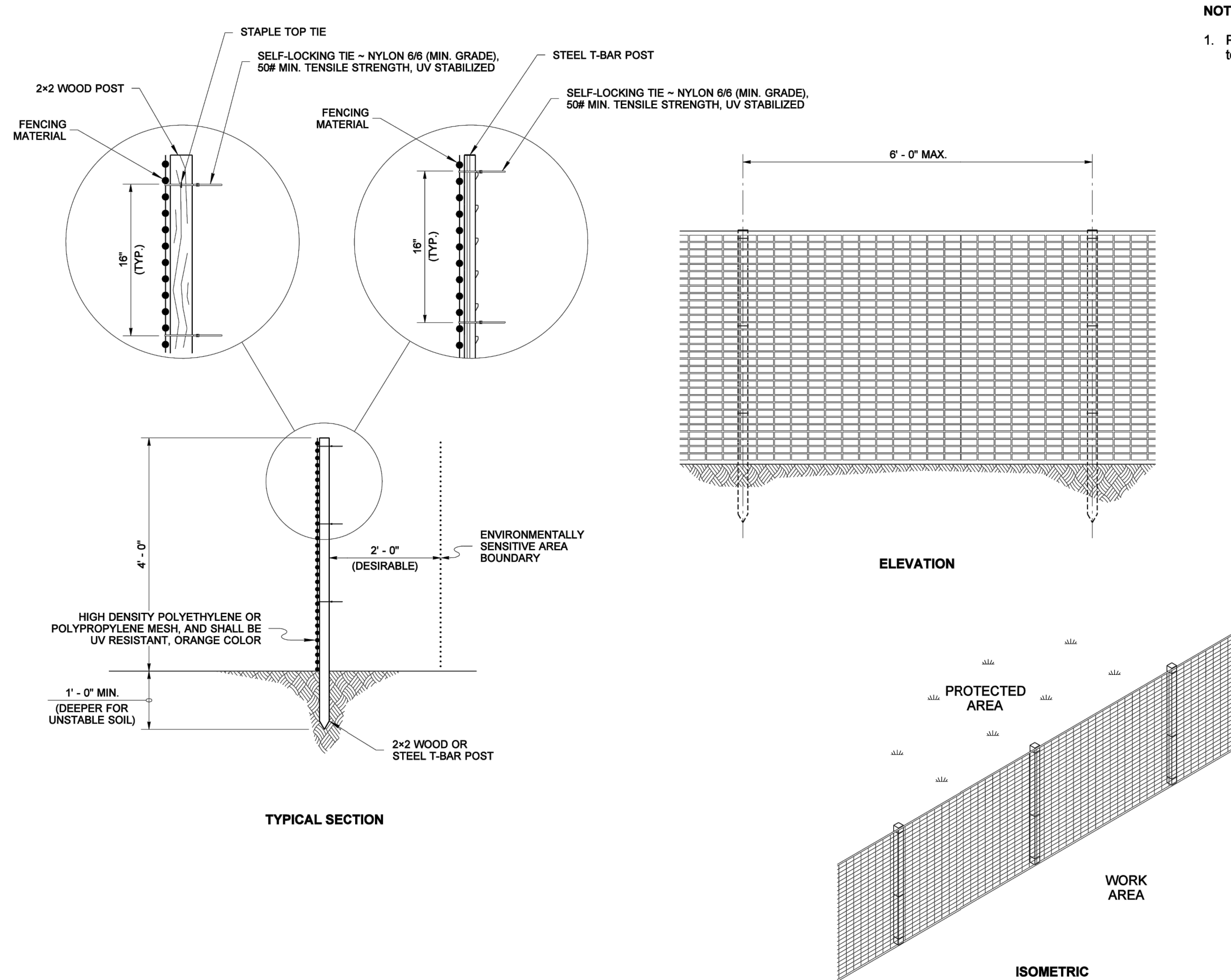
Owner Name  
SAM FRANKLIN + JUNE CADENHEAD  
Project Address  
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MERCER ISLAND, WA 98040

Sheet Information  
Job Number 2209  
Drawn RMK  
Checked RMK  
Title

SWPPP  
DETAILS

Sheet

DRAWN BY: BILL BERENS



NOTE

- Post shall have sufficient strength and durability to support the fence through the life of the project.



STATE OF WASHINGTON  
REGISTERED  
LANDSCAPE ARCHITECT

MARK W. MAURER  
CERTIFICATE NO. 000598

NOTE: THIS PLAN IS NOT A LEGAL ENGINEERING DOCUMENT BUT AN ELECTRONIC DUPLICATE. THE ORIGINAL, SIGNED BY THE ENGINEER AND APPROVED FOR PUBLICATION, MUST BE FILED AT THE WASHINGTON STATE DEPARTMENT OF TRANSPORTATION. A COPY MAY BE OBTAINED UPON REQUEST.

HIGH VISIBILITY FENCE  
STANDARD PLAN I-10.10-01  
SHEET 1 OF 1 SHEET  
APPROVED FOR PUBLICATION  
Pasco Bakotich III 08-11-09  
STATE DESIGN ENGINEER DATE  
Washington State Department of Transportation

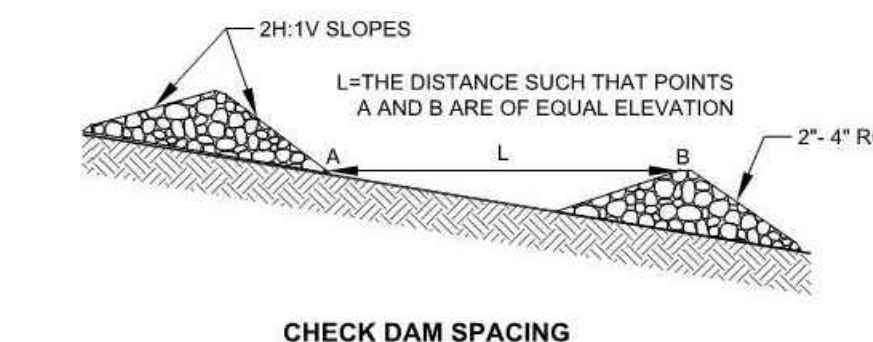
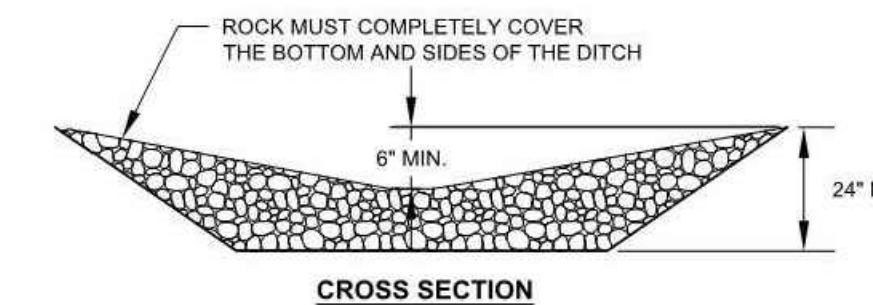
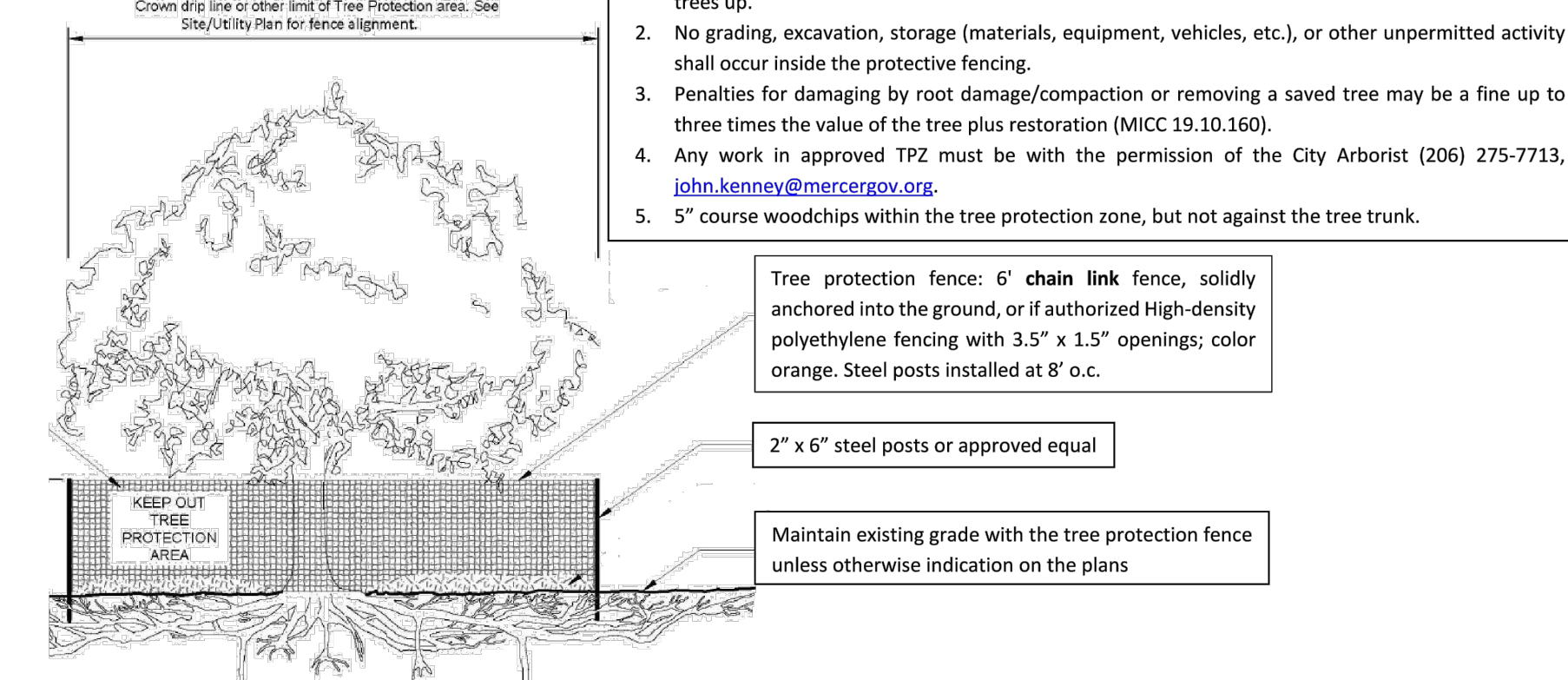
TREE PROTECTION AREA (TPZ)

KEEP OUT!

DO NOT REMOVE OR ADJUST THE APPROVED LOCATION OF THIS TREE PROTECTION AREA

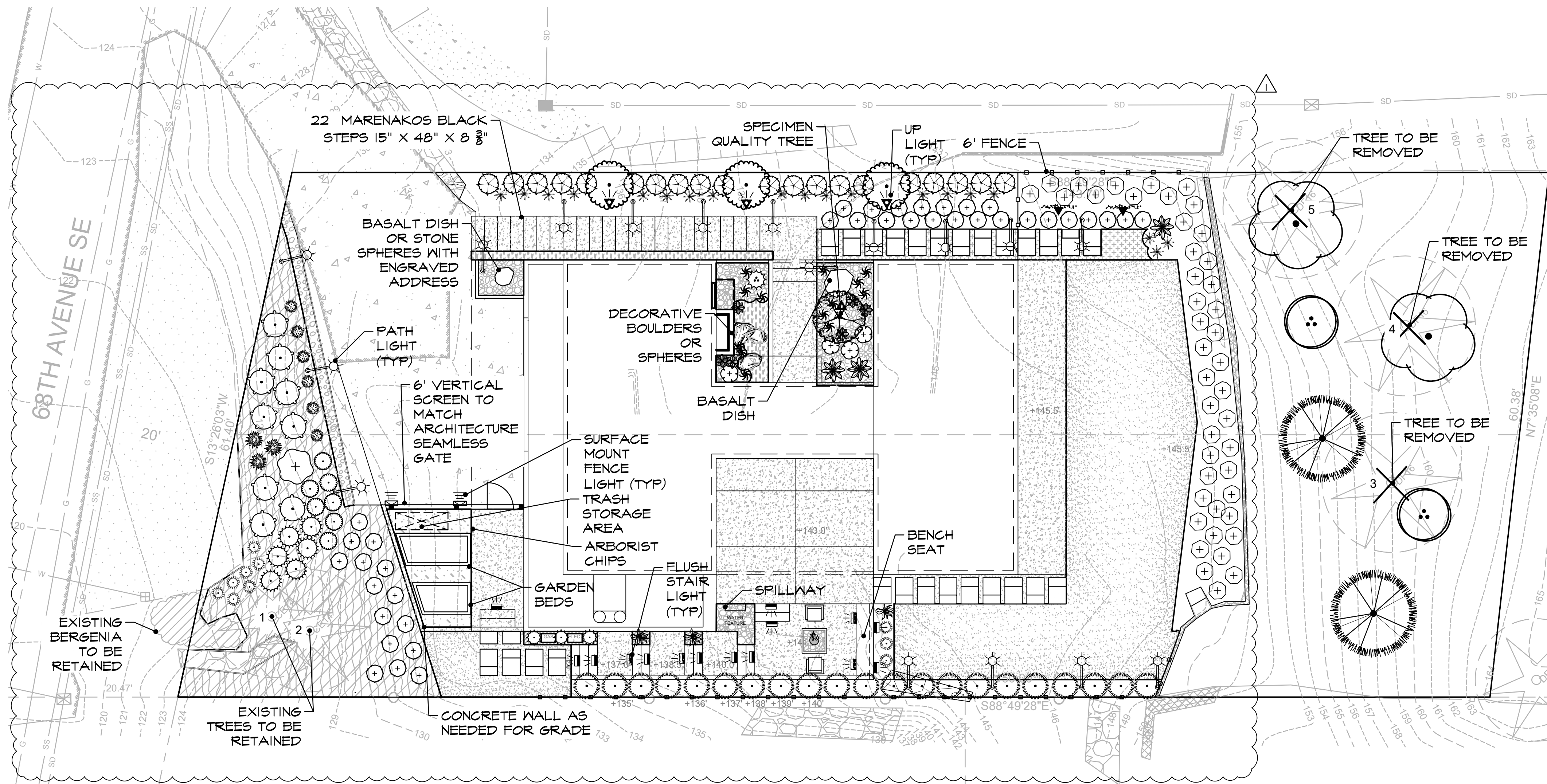
Trees enclosed by this fence are protected and are subject to the conditions of the tree permit. Violation of tree conditions may lead to:

- Correction Notices or Stop Work Orders until compliance is achieved
- RE Inspection Fees/financial penalties
- Arborist reports recommending mitigation



PREPARED BY GREEN LAKE ENGINEERING, LLC

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**LANDSCAPE NOTES**

1. CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING THEMSELVES WITH ALL OTHER SITE IMPROVEMENTS AND CONDITIONS PRIOR TO STARTING LANDSCAPE WORK.
2. CONTRACTOR SHALL USE CAUTION WHILE EXCAVATING TO AVOID DISTURBING ANY UTILITIES ENCOUNTERED. CONTRACTOR IS TO PROMPTLY ADVISE OWNER OF ANY DISTURBED UTILITIES. LOCATION SERVICE PHONE 1-800-424-5555.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPUTING SPECIFIC QUANTITIES OF GROUND COVERS AND PLANT MATERIALS UTILIZING ON-CENTER SPACING FOR PLANTS AS STATED ON THE LANDSCAPE PLAN AND MINIMUM PLANTING DISTANCES AS SPECIFIED BELOW IN THESE NOTES.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING THE QUANTITIES OF PLANTS THAT ARE REPRESENTED BY SYMBOLS ON THE DRAWINGS.
5. SUBGRADE IS TO BE WITHIN 1/8" OF ONE FOOT AS PROVIDED BY OTHERS. ALL PLANTING AREAS TO BE CLEARED OF ALL CONSTRUCTION MATERIAL AND ROCKS AND STICKS LARGER THAN 2" DIAMETER.
6. IMPORT 8 INCHES OF COMPOST AMENDED TOPSOIL (25% COMPOST FOR TURF AREAS; 40% COMPOST FOR PLANTING BEDS). SCARIFY SUBSOIL 4" TO INCORPORATE WHERE FEASIBLE WITHOUT IMPACTING TREE ROOTS.
7. 2" DEPTH ORGANIC MULCH IN ALL BED AREAS.
8. ALL PLANT MATERIAL SHALL BE FERTILIZED WITH AGRO TRANSPLANT FERTILIZER 4-2-2 PER MANUFACTURER'S SPECIFICATIONS.
9. ALL PLANT MATERIAL SHALL CONFORM TO AAN STANDARDS FOR NURSERY STOCK, LATEST EDITION. ANY REPLACEMENTS MADE AT ONCE.
  - 9.A. GENERAL: ALL PLANT MATERIAL FURNISHED SHALL BE HEALTHY REPRESENTATIVES, TYPICAL OF THEIR SPECIES OF VARIETY AND SHALL HAVE A NORMAL GROWTH HABIT. THEY SHALL BE FULL, WELL BRANCHED, WELL PROPORTIONED, AND HAVE A VIGOROUS, WELL DEVELOPED ROOT SYSTEM. ALL PLANTS SHALL BE HARDY UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT.
  - 9.B. TREES, SHRUBS, AND GROUND COVER: QUANTITIES, SPECIES, AND VARIETIES, SIZES AND CONDITIONS AS SHOWN ON THE PLANTING PLAN. PLANTS TO BE HEALTHY, VIGOROUS, WELL FOLIATED WHEN IN LEAF. FREE OF DISEASE, INJURY, INSECTS, DECAY, HARMFUL DEFECTS, AND ALL WEEDS. NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN APPROVAL FROM LANDSCAPE ARCHITECT OR OWNER.
10. ALUMINUM EDGING, PERMALOC OR APPROVED EQUAL, TO BE INSTALLED BETWEEN BARK AND COBBLE.

**IRRIGATION:** A TEMPORARY IRRIGATION SYSTEM IS REQUIRED FOR ALL REPLACEMENT TREES. EACH TREE TO BE IRRIGATED WITH DRIP BUBBLERS FOR A MINIMUM OF 5 YEARS. AFTER INITIAL PLANTING, DRIP SYSTEM SHOULD BE SCHEDULED TO RUN THREE DAYS A WEEK FOR 30 MINUTES MONITOR SOIL MOISTURE DAILY. AFTER ONE GROWING SEASON, SCHEDULE IRRIGATION TO RUN ONE DAY A WEEK DURING APRIL, MAY, SEPTEMBER AND OCTOBER. TWICE A WEEK FROM JUNE THROUGH AUGUST. SET THE RUN TIME BETWEEN 45-60 MINUTES. AFTER WATERING, CHECK THE SOIL MOISTURE AT THE ROOT (AT LEAST 6 INCHES DEEP) AND ADJUST THE RUN TIME IF NEEDED. -CHECK THE DRIP SYSTEM TWICE A MONTH TO ENSURE THE SYSTEM IS RUNNING PROPERLY. -HAND CLEAR AND GRUB A 3' DIAMETER RING OF ALL GRASS, WEEDS AND INVASIVE SPECIES AROUND EACH REPLACEMENT TREE AND INSTALL 3" DEPTH OF ARBORIST CHIP MULCH IN PLANTING RING.

**TREE RETENTION REQUIREMENTS**  
 MINIMUM 30% LARGE TREES RETAINED  
 TOTAL LARGE TREES ON SITE: 5  
 TREES TO BE REMOVED: 3 (TREE #3, #4, #5)  
 TREES TO TO BE RETAINED: 2 (TREE #1, #2)= 40%

**TREE REPLACEMENT CALCULATIONS**  
 LARGE TREES TO BE REMOVED: 3 (TREE #3, #4, #5)  
 REPLACEMENT REQUIRED 2:1 RATIO:  
 6 REPLACEMENT TREES REQUIRED- 6'TALL MIN  
 CONIFERS #1.5" CAL DECIDUOUS TREES  
 REPLACEMENTS PROVIDED: 6  
 2-ACER CIRCINATUM  
 2-CORNUS NUTTALLII

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 206.441.4545  
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 Ste 7, FMB 370  
 Bothell, WA 98021  
 www.rootofdesign.com



PROJECT TITLE

**LANDSCAPE PLAN**

3064 68TH AVE SE MERCER ISLAND, WA

DRAWN	DATE
KL	12.22.22
REVISED	DATE
KL	05.01.23
KL	07.05.23

1/8"=1'-0"

**L1**



PLANT SCHEDULE \*

TREES	BOTANICAL / COMMON NAME	SIZE	QTY
	Acer circinatum / Vine Maple Replacement Tree	1.5" Cal, 6' Ht min.	2
	Acer palmatum 'Sango-kaku' / Coral Bark Japanese Maple	2"-2.5" Cal B#B	1
	Cornus nuttallii / Pacific Dogwood Replacement Tree	1.5" Cal, 6' Ht min.	2
	Pinus contorta / Shore Pine Replacement Tree	6'-7' Ht.	2
	Populus tremula 'Erecta' / Swedish Columnar Aspen	1.75" Cal.	3

GROUND COVERS	BOTANICAL / COMMON NAME	SIZE	SPACING	QTY
	Ophiopogon japonicus 'Nanus' / Dwarf Mondo Grass	4" pot	15" o.c.	36
	Rubus calycinoides 'Emerald Carpet' / Creeping Raspberry	4" pot	24" o.c.	116
	Sagina subulata / Irish Moss	4" pot	18" o.c.	50
	Sedum rupestre 'Angelina' / Yellow Stonecrop	4" pot	18" o.c.	7
	Turf Sod / Drought Tolerant Fescue Blend	sod		991 sf

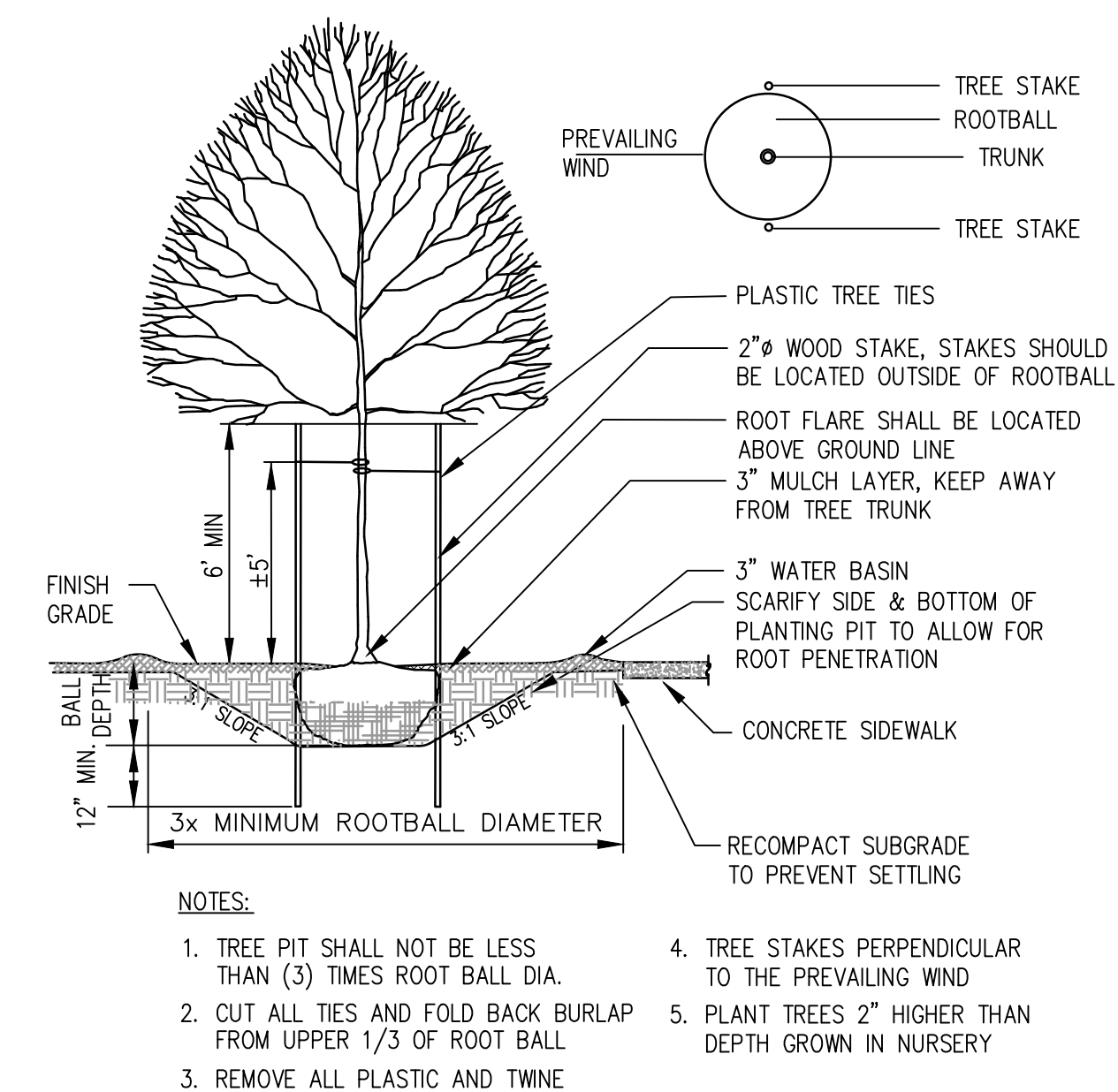
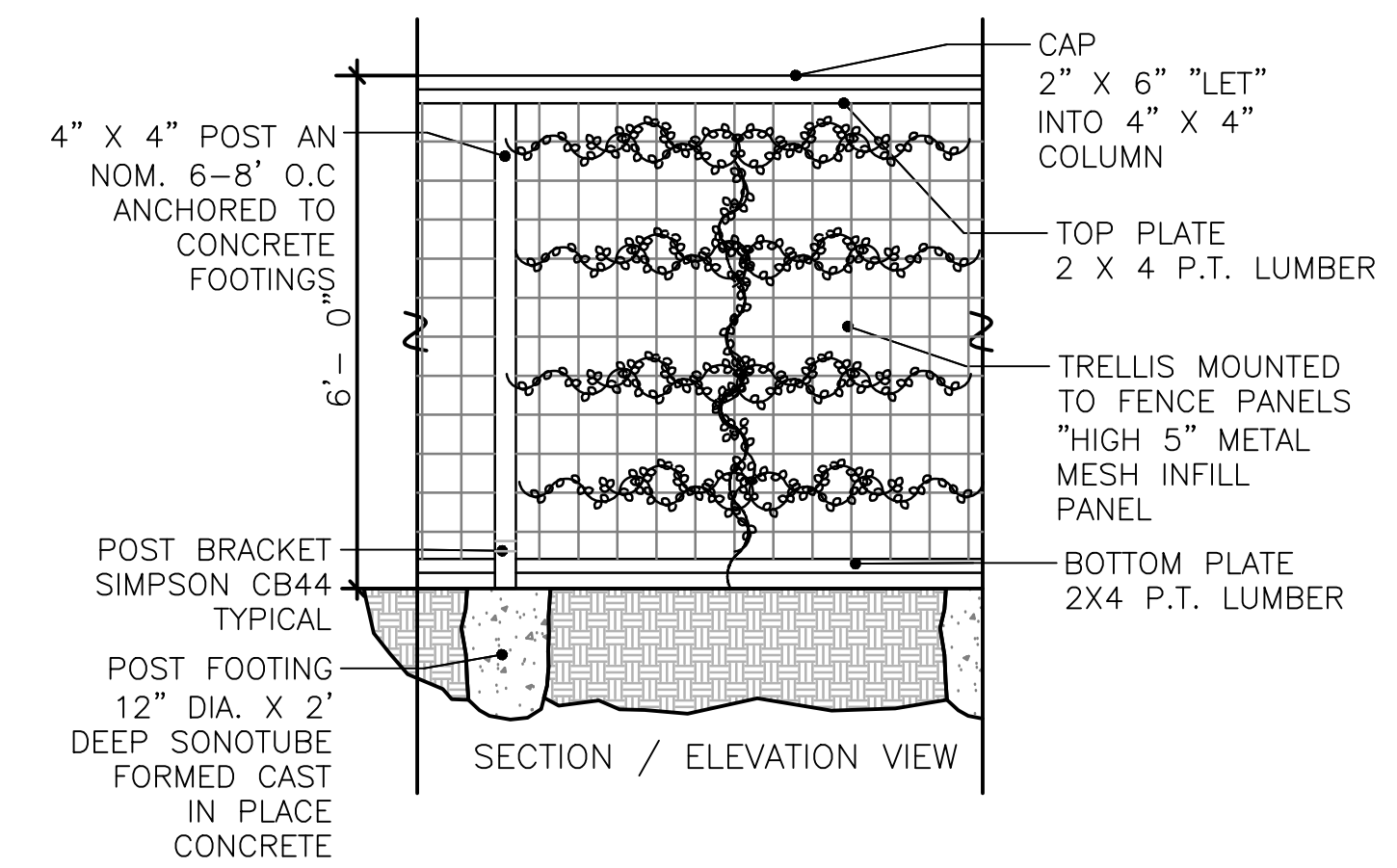
SITE	BOTANICAL / COMMON NAME	SIZE	SPACING	QTY
	Arborist Chips 3" Depth	N/A		50 sf
	Black Polished Mexican Beach Pebbles 1"-2"	N/A		112 sf
	Cobble 1"-3"	N/A		43 sf

PLANT SCHEDULE \*

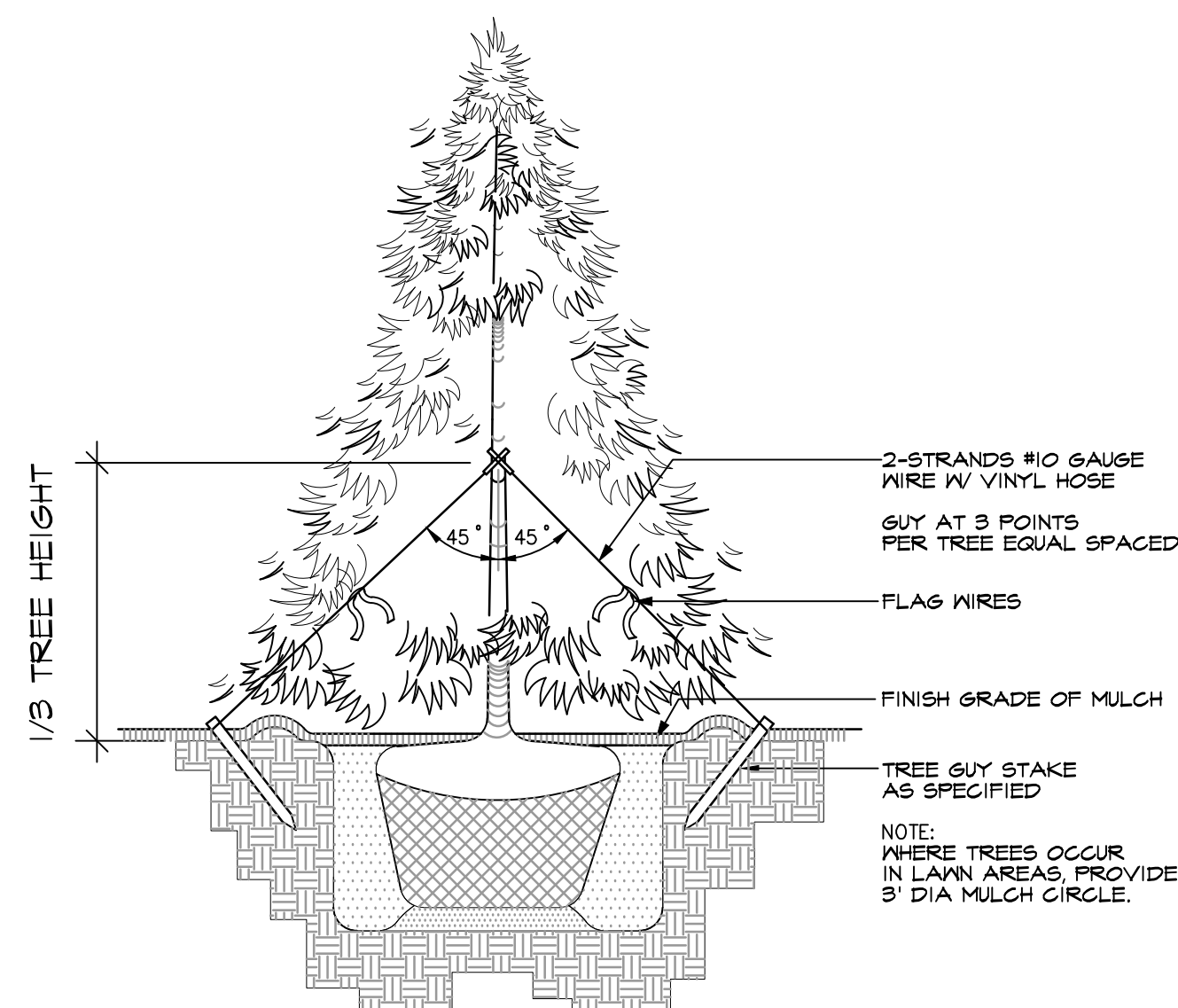
SHRUBS	BOTANICAL / COMMON NAME	SIZE	QTY
	Azalea x 'Gumpo White' / Gumpo White Satsuki Azalea	1 gal	4
	Berberis thunbergii 'Crimson Pygmy' / Crimson Pygmy Barberry	5 gal	6
	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass	1 gal	6
	Camellia sasanqua 'Yuletide' / Yuletide Camellia	5 gal, Espaller	2
	Carex oshimensis 'CaritO!' / EverColor® Everest Japanese Sedge	1 gal	19
	Carex oshimensis 'Everillo' / Everillo Japanese Sedge	1 gal	13
	Carex testacea / Orange Sedge	1 gal	10
	Chosya ternata 'Sundance' / Sundance Mexican Mock Orange	3 gal	9
	Cotinus coggygria 'Royal Purple' / Royal Purple Smoke Tree	5 gal	1
	Gaultheria shallon / Salal	1 gal	44
	Ilex crenata 'Sky Pencil' / Sky Pencil Japanese Holly	20" Ht min	3
	Lonicera pileata 'Moss Green' / Moss Green Honeysuckle	2 gal	7
	Mahonia eurybracteata 'Soft Caress' / Mahonia Soft Caress	2 gal	3
	Miscanthus sinensis 'Purpurescens' / Purple Eulalia Grass	2 gal	3
	Phormium tenax / New Zealand Flax	2 gal	3
	Pinus mugo 'Slowmound' / Slowmound Mugo Pine	2 gal	1
	Polystichum polyblepharum / Japanese Tassel Fern	1 gal	6
	Prunus laurocerasus 'Mount Vernon' / Mount Vernon Laurel	2 gal	37
	Taxus x media 'H.M. Eddie' / H.M Eddie Yew	3'-5' Ht	20
	Thuja occidentalis 'Smaragd' / Emerald Green Arborvitae	8'-9' Ht.	21

LIGHTING SCHEDULE \*

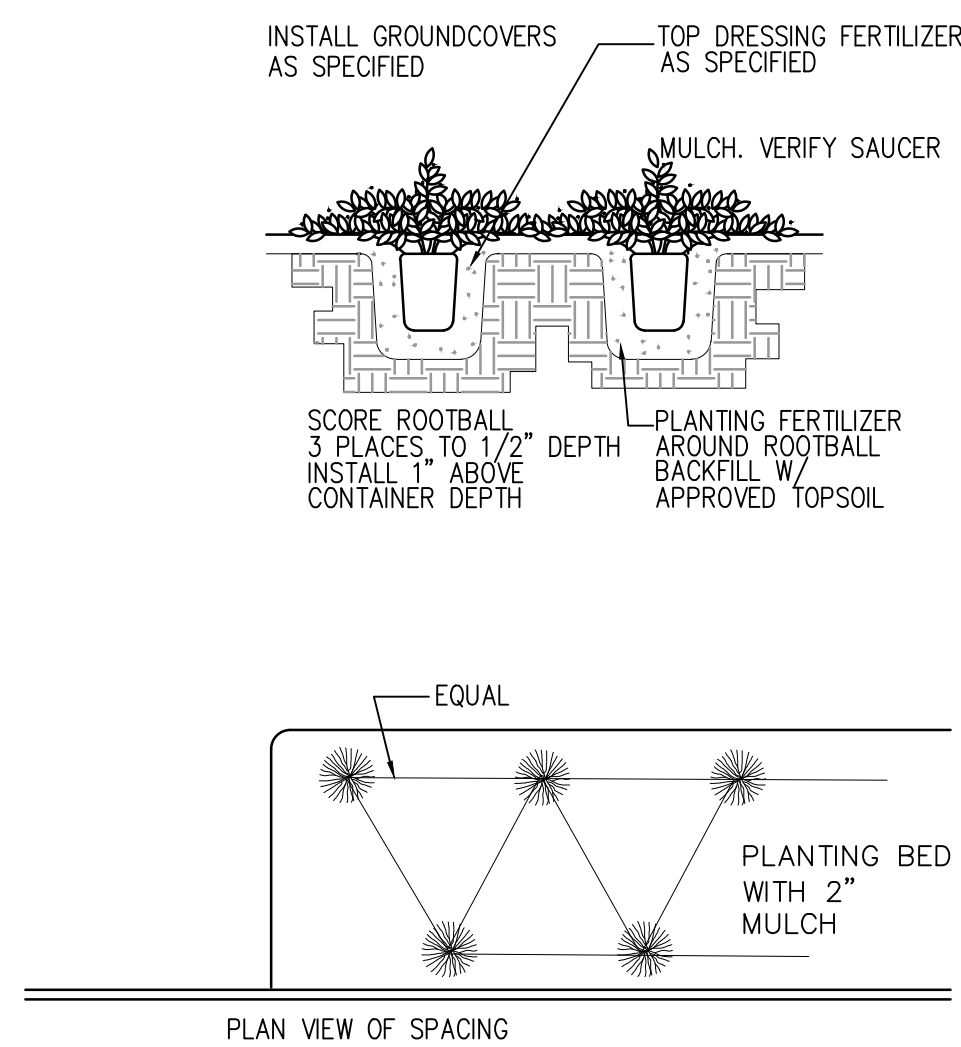
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
	FX Luminaire M-PL Die-cast aluminum path light with powder-coated finish. 2.2in. W x 7.4in. H x 21.3in. D. Order code: M-PL, Aluminum, (FB) Flat Black, Deck Mount Lamp: M-PL-ILED, 2W/2.4VA, 2700K, Beamspread: Flood	17
	UP LIGHT Lamp: LED	4
	FX Luminaire RH Recessed wall/step light. Order code: RH, Aluminum, (FB) Flat Black, Direct Mount Lamp: RH-ILED, 1.9W/2.2VA, 2700K, Beamspread: Wide	15
	FX Luminaire H5 H5 floor-grazing, recessed hardscape light. 8in. W x 2.3in. H x 4.5in. D. Order code: H5, Aluminum, (FB) Flat Black Lamp: H5-2LED, 3.5W/3.8VA, 2700K, Beamspread: Wide	2



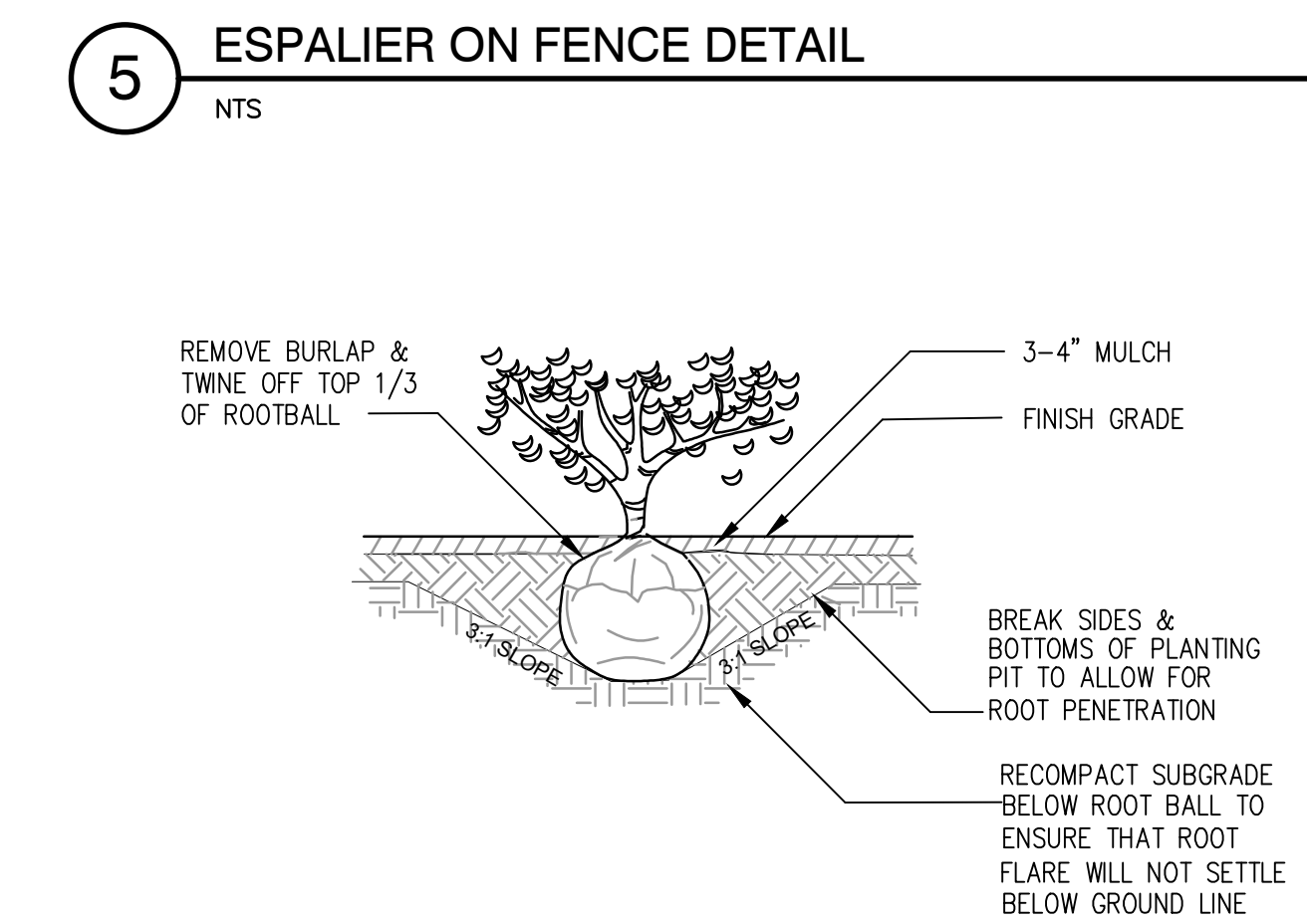
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2 TYPICAL EVERGREEN TREE PLANTING DETAIL NTS



3 TYPICAL GROUNDCOVER PLANTING DETAIL NTS



4 TYPICAL SHRUB PLANTING DETAIL NTS



5 ESPALIER ON FENCE DETAIL NTS

Root of Design  
206.441.9545  
2020 Maitby Rd  
Ste 7, FMB 370  
Bothell, WA 98021  
www.rootofdesign.com



PROJECT TITLE

LANDSCAPE PLAN

3064 68TH AVE SE MERCER ISLAND, WA

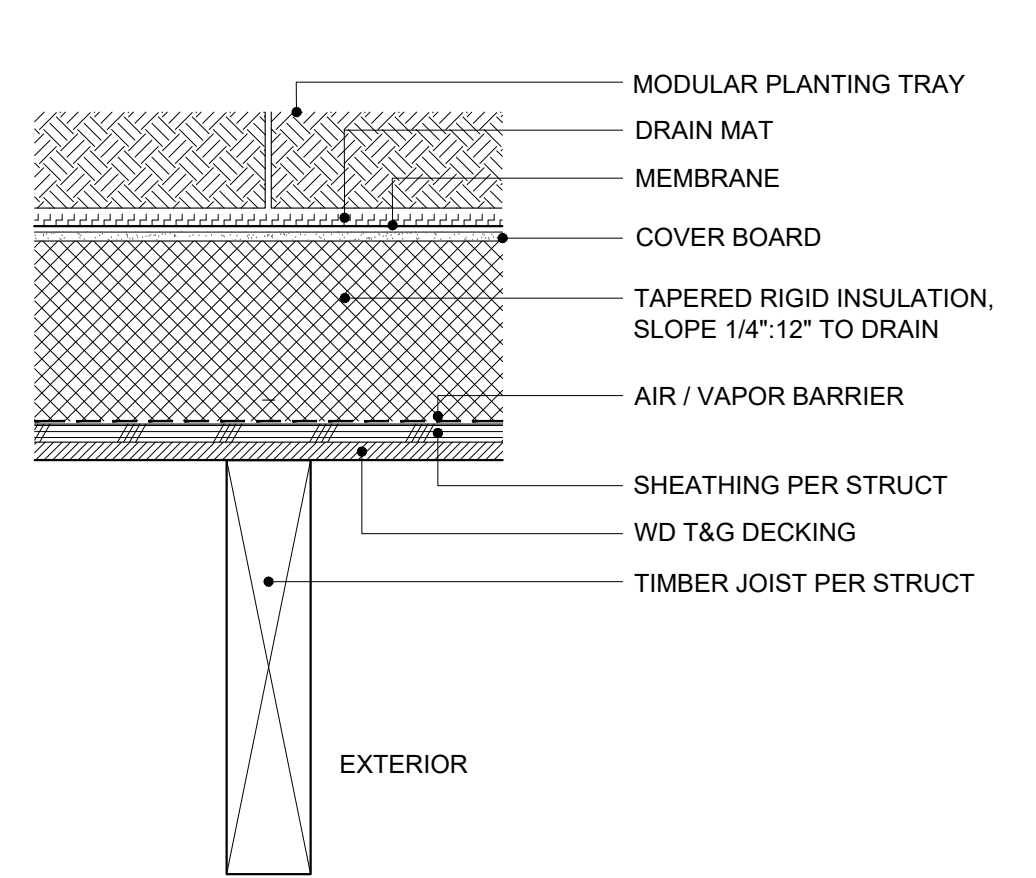
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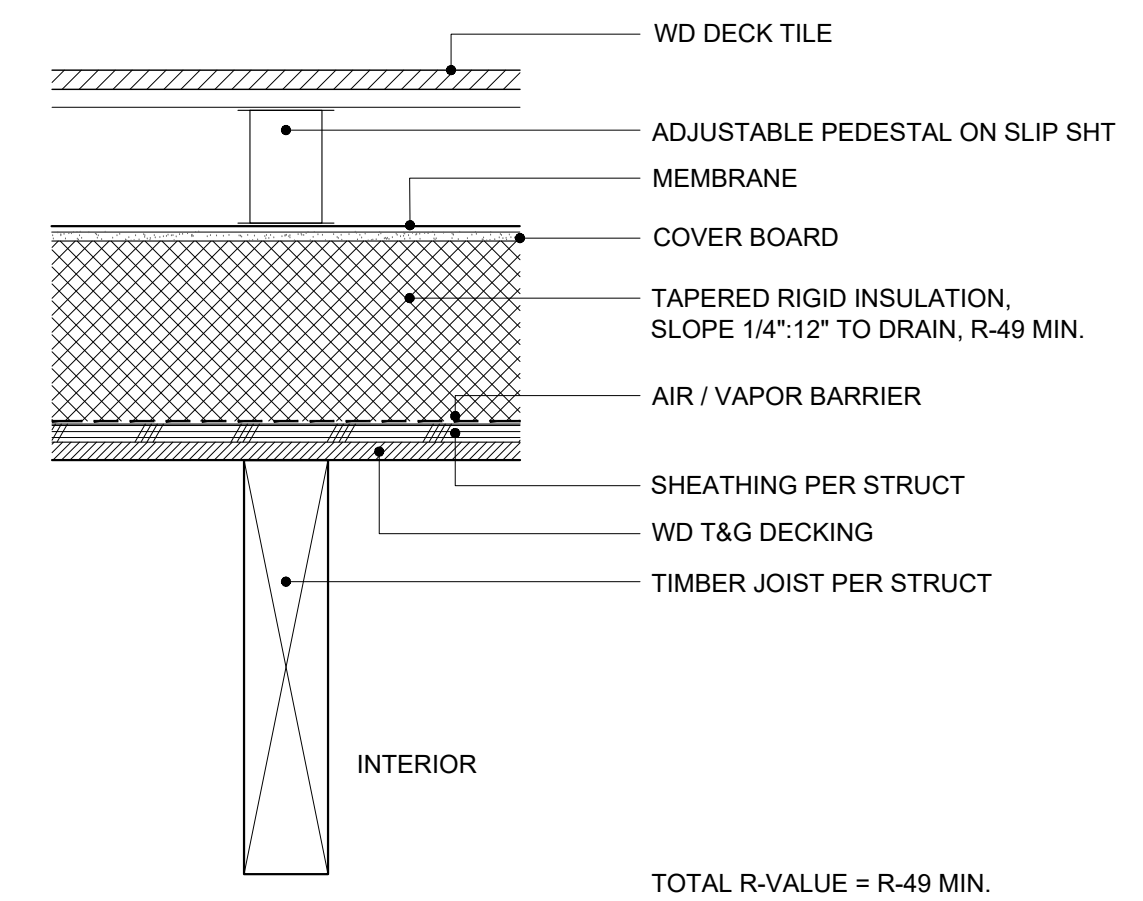
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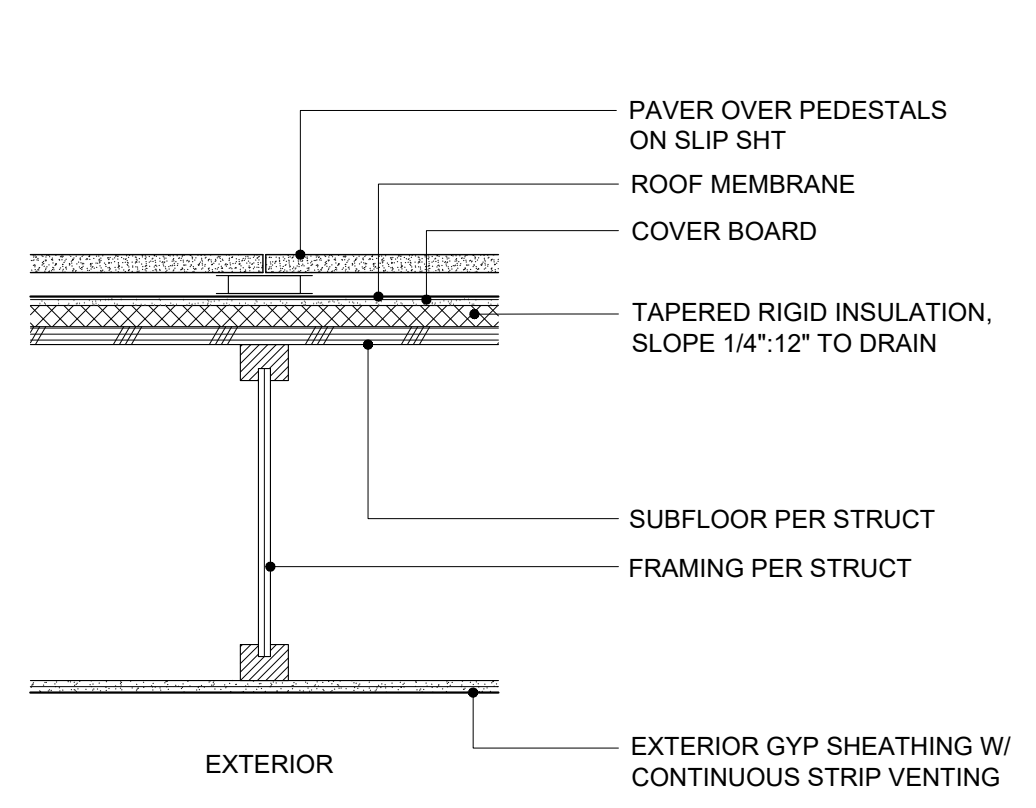
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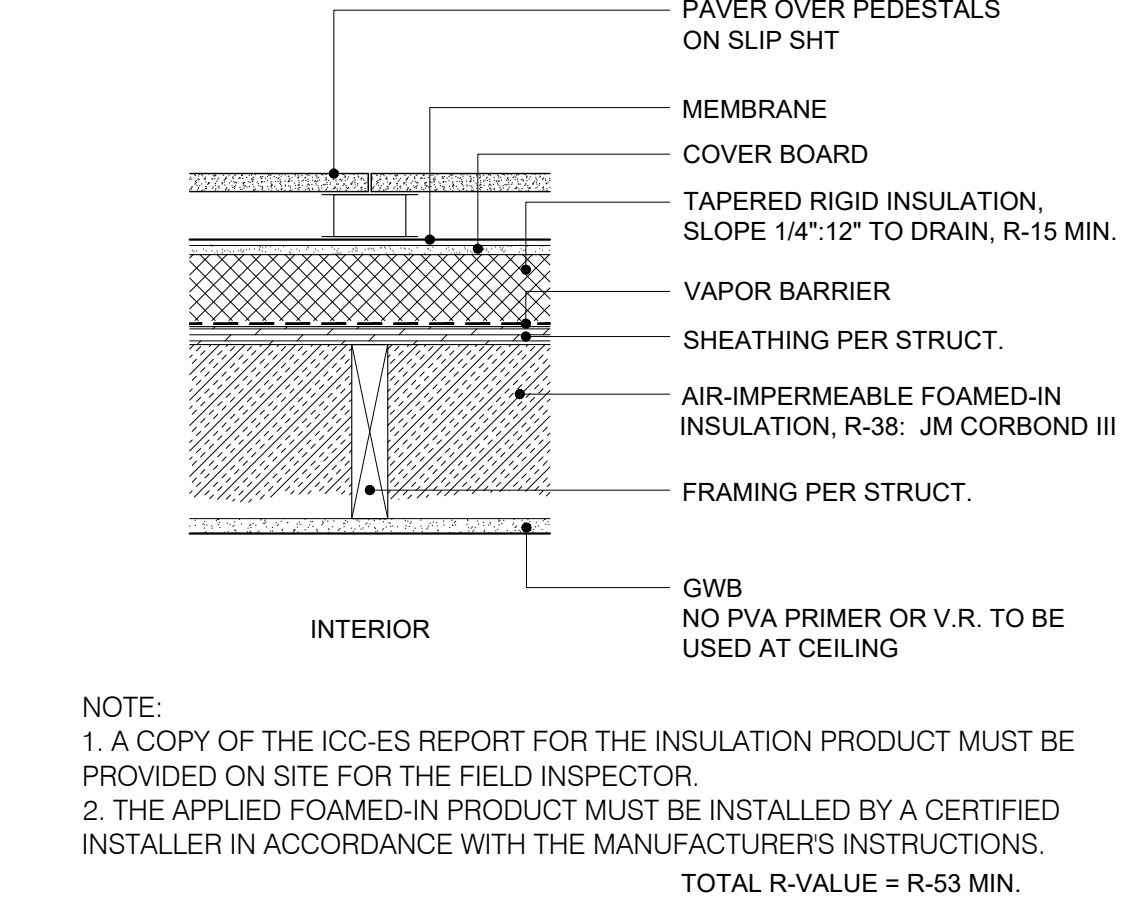
**R5 ROOF - WEST OVERHANG**  
1 1/2"=1'-0"



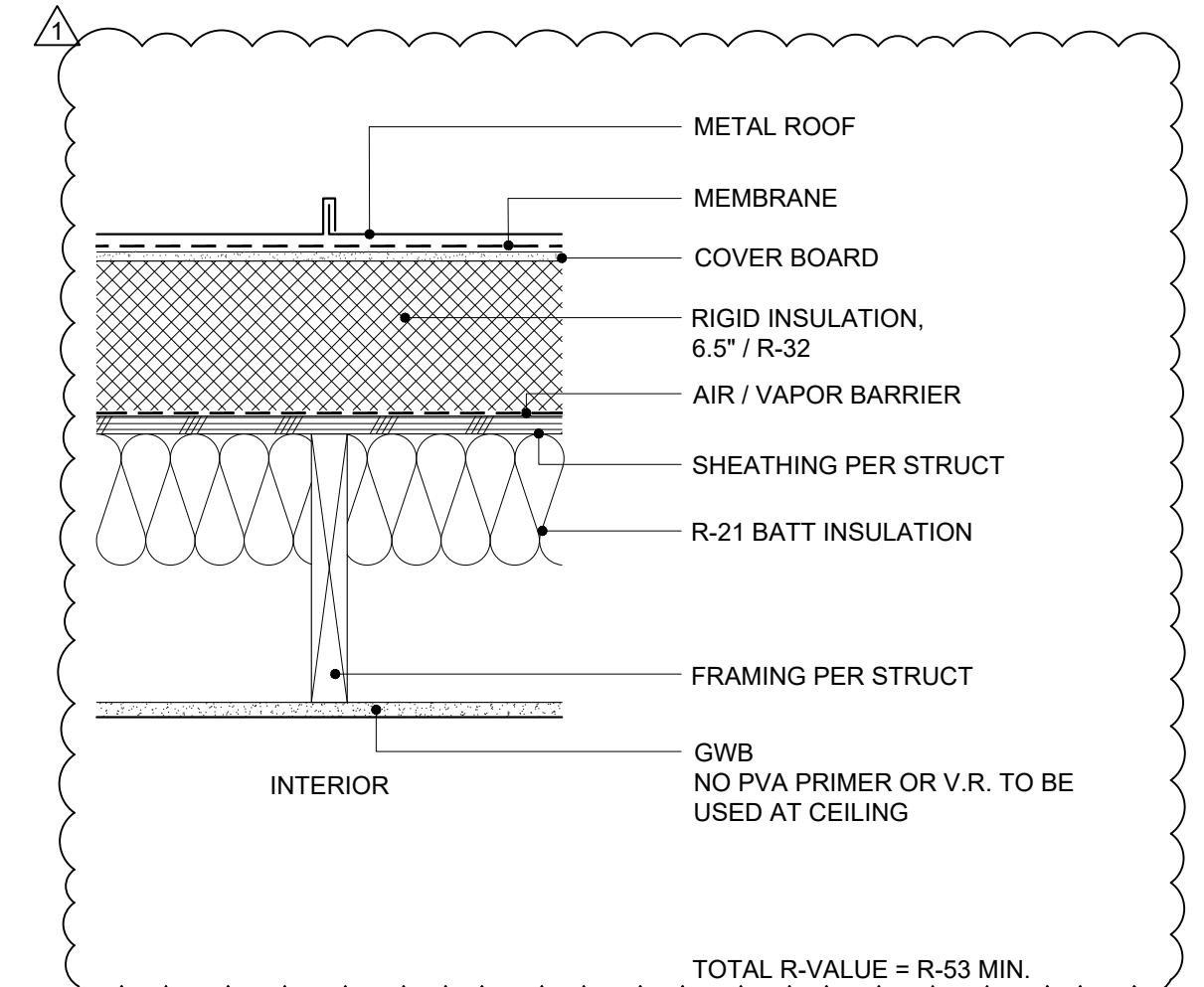
**R4 ROOF - WOOD DECK OVER HEATED SPACE**  
1 1/2"=1'-0"



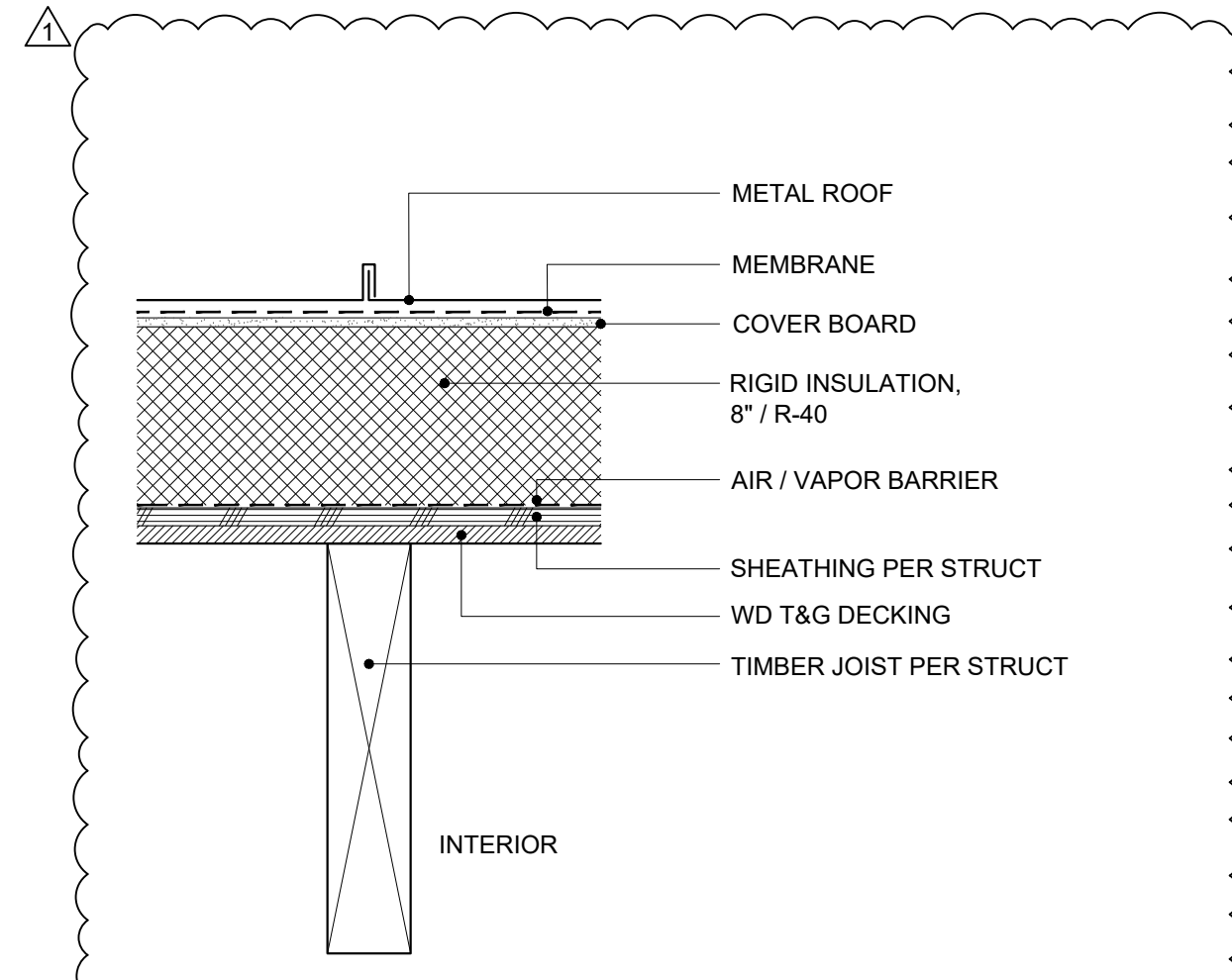
**R3 ROOF - LEVEL 1 DECK & SOFFIT**  
1 1/2"=1'-0"



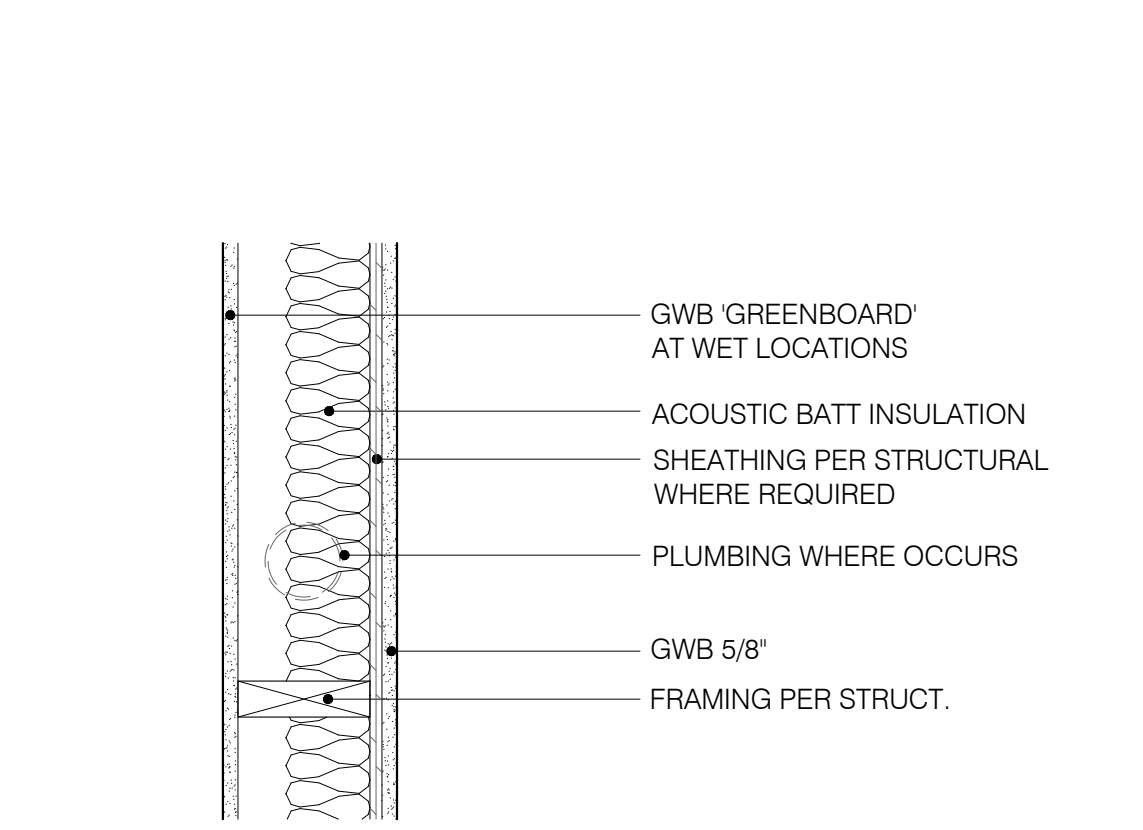
**R2 ROOF - COURTYARD**  
1 1/2"=1'-0"



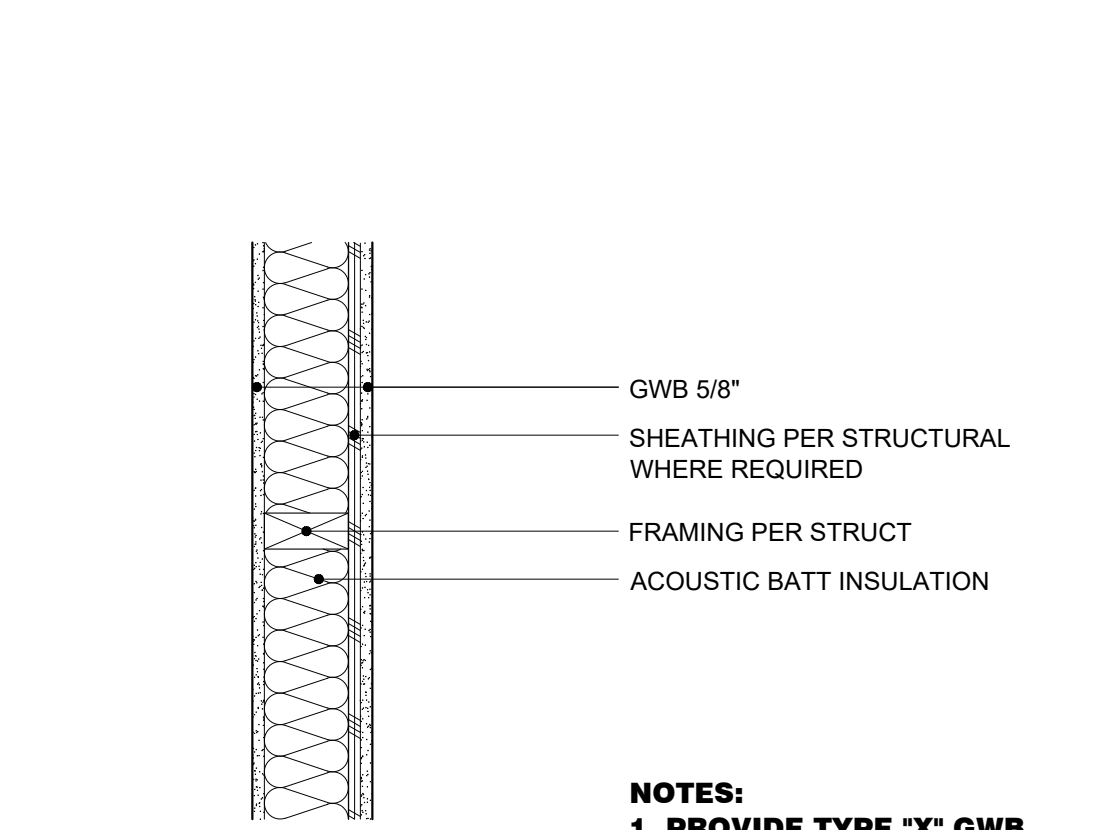
**R1 ROOF - TYPICAL**  
1 1/2"=1'-0"



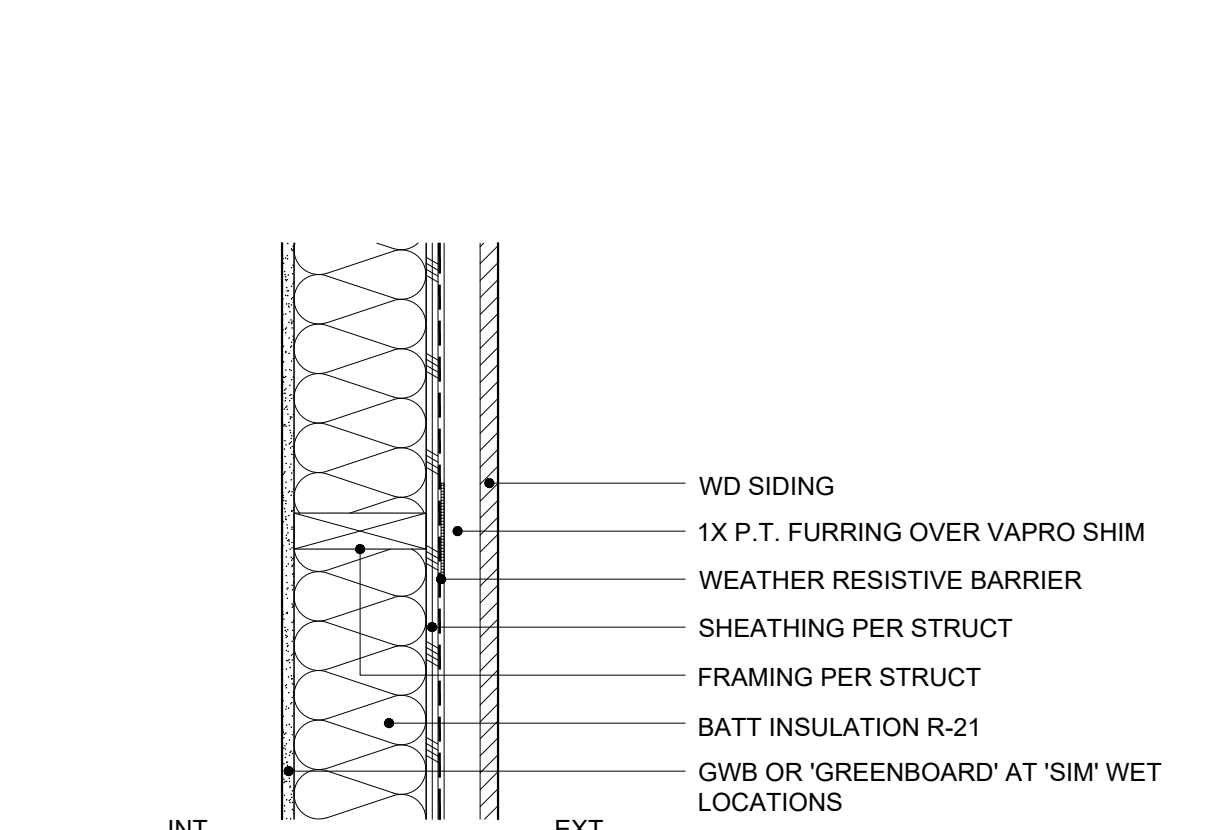
**R6 ROOF - EXPOSED JOISTS**  
1 1/2"=1'-0"



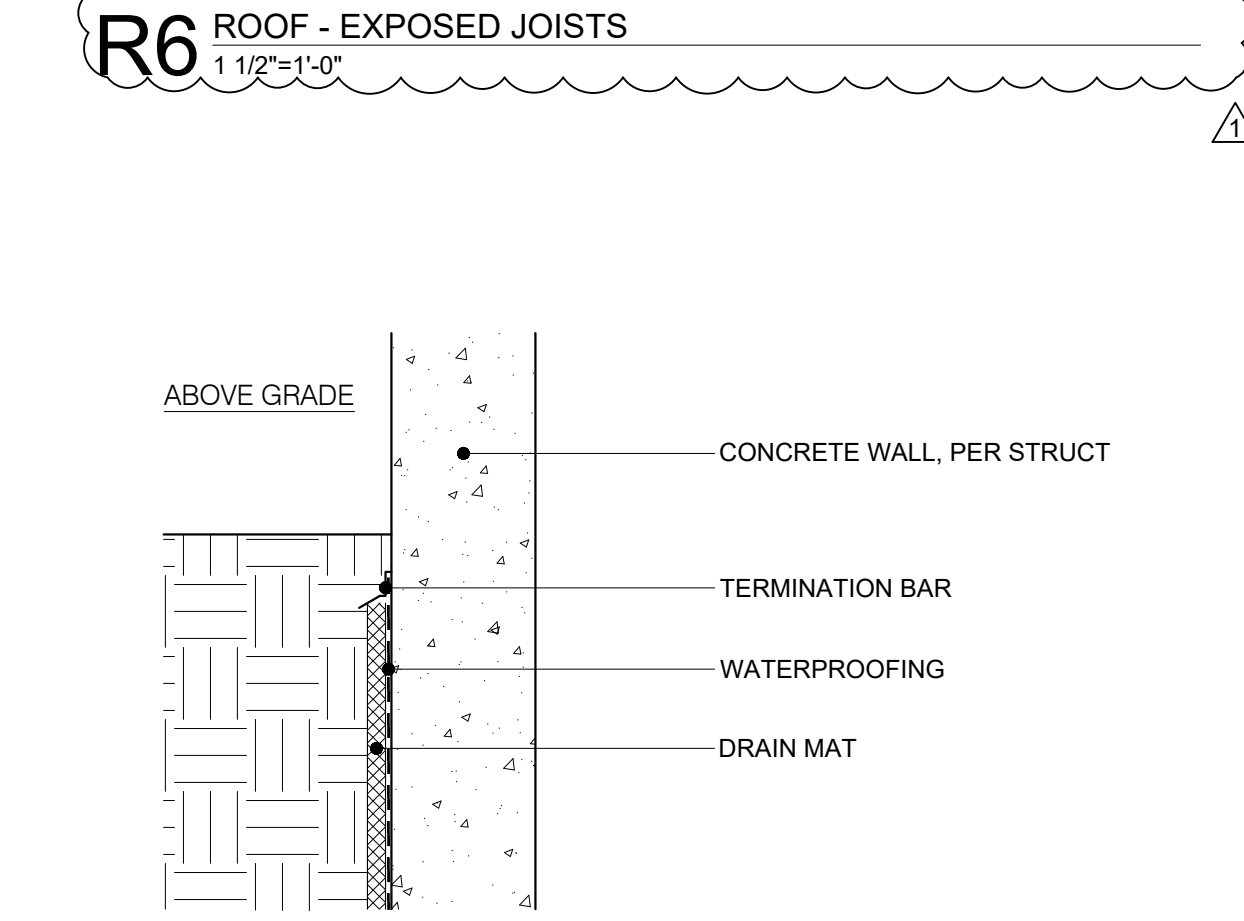
**P2 PARTITION - TYPICAL PLUMBING**  
1 1/2"=1'-0"



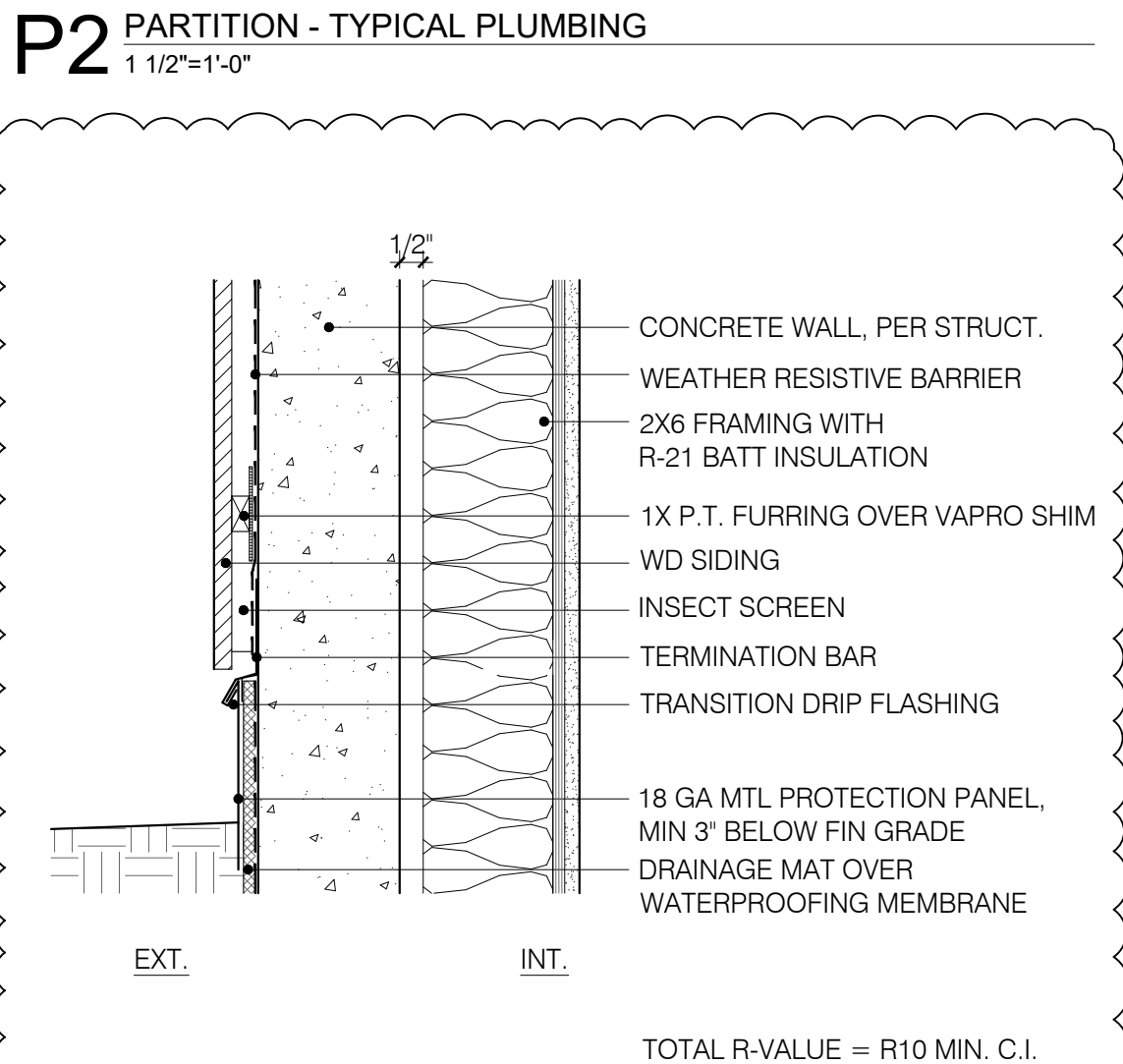
**P1 PARTITION - TYPICAL INTERIOR**  
1 1/2"=1'-0"



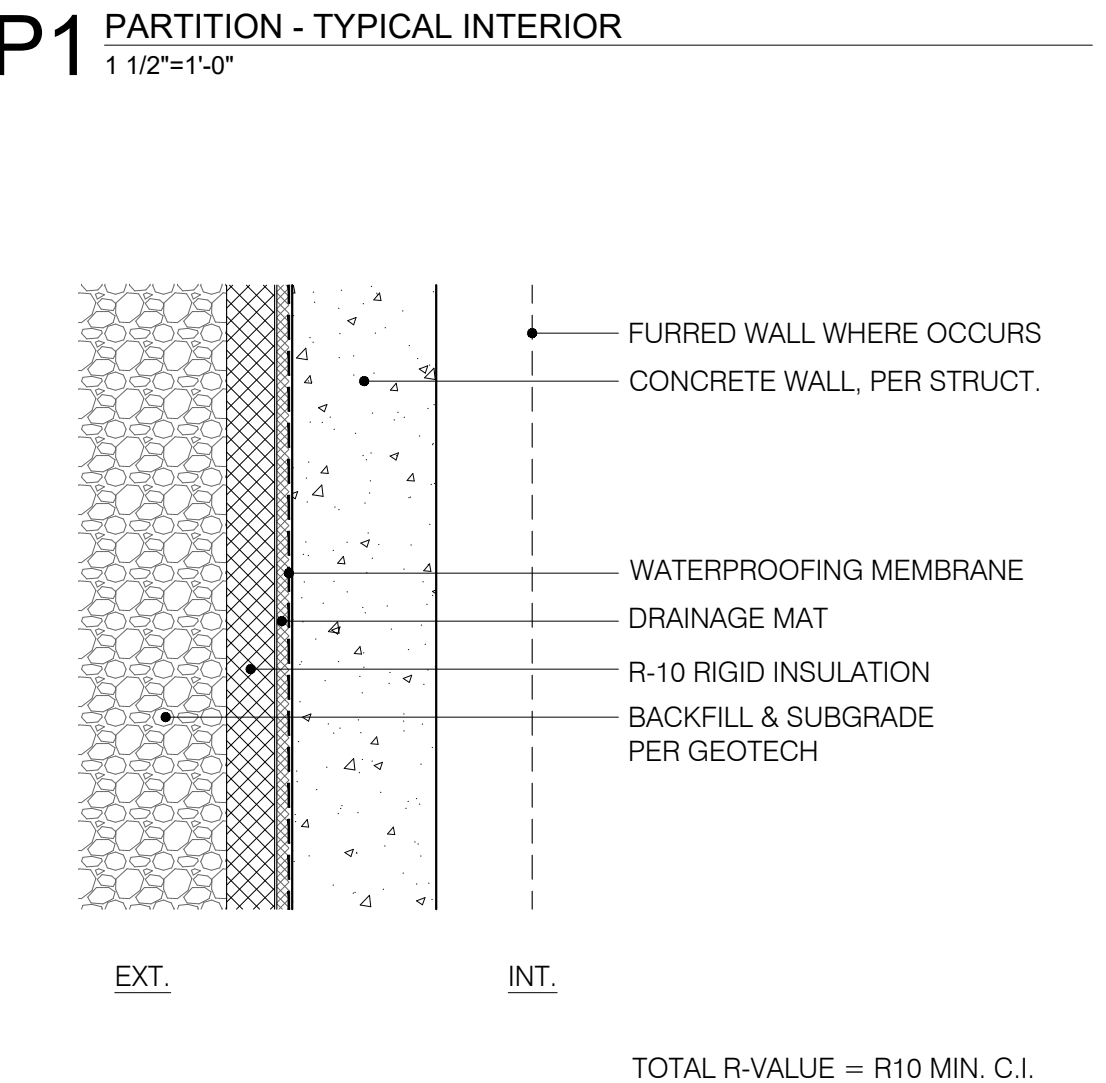
**W1 WALL - TYPICAL EXTERIOR**  
1 1/2"=1'-0"



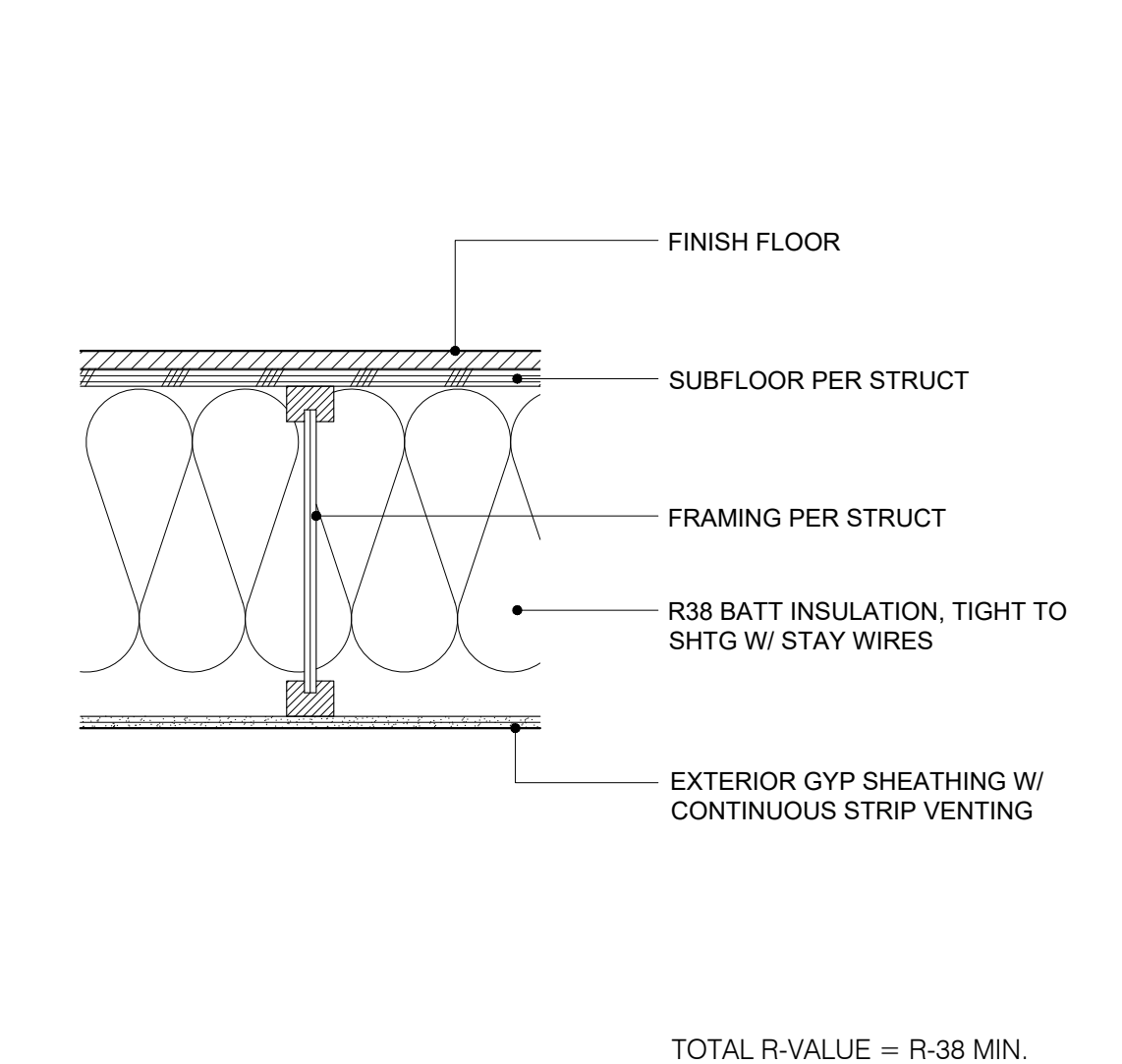
**C3 WALL - CRAWL SPACE**  
1 1/2"=1'-0"



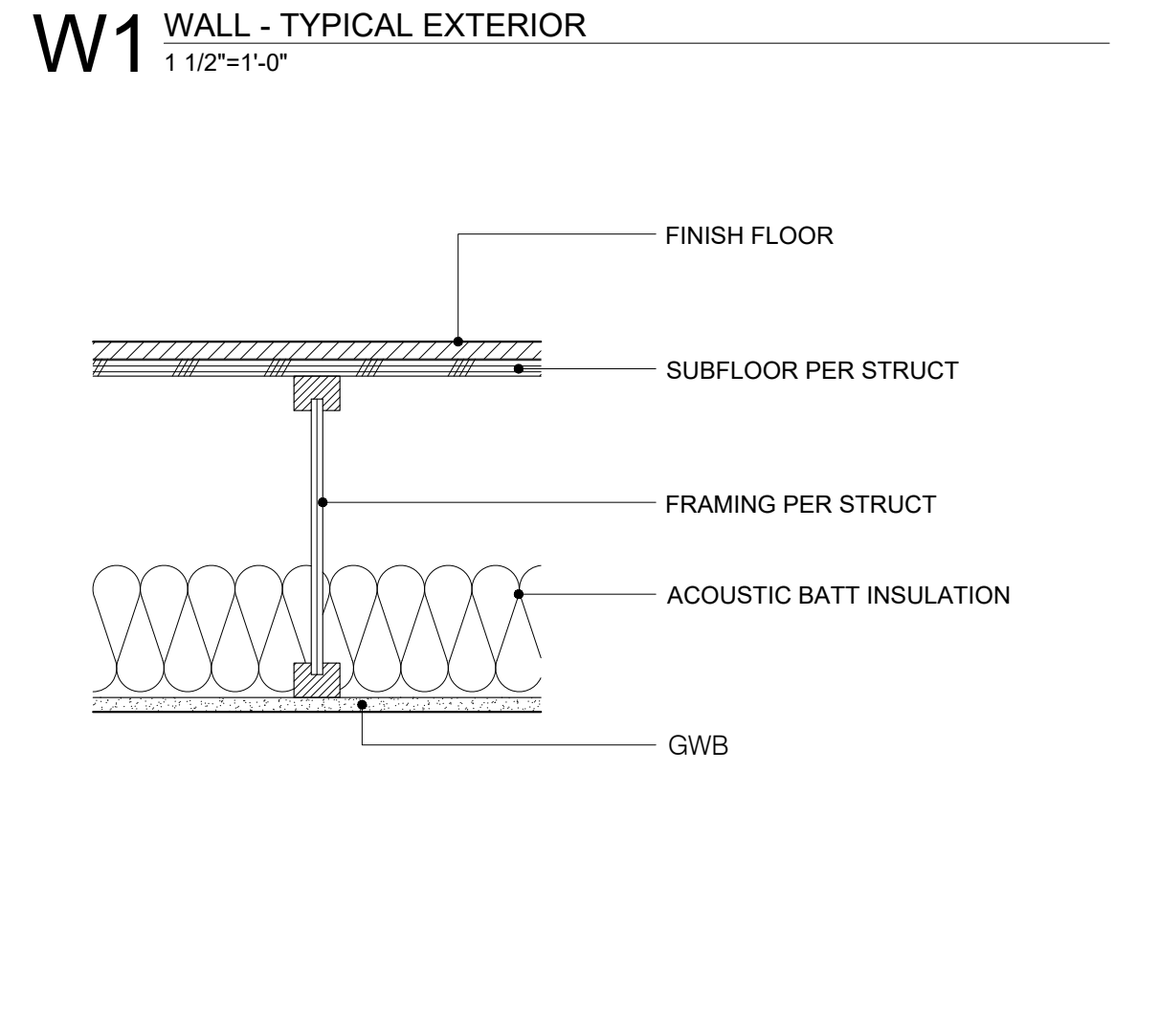
**C2 WALL - CONCRETE ABOVE GRADE AT HEATED SPACE**  
1 1/2"=1'-0"



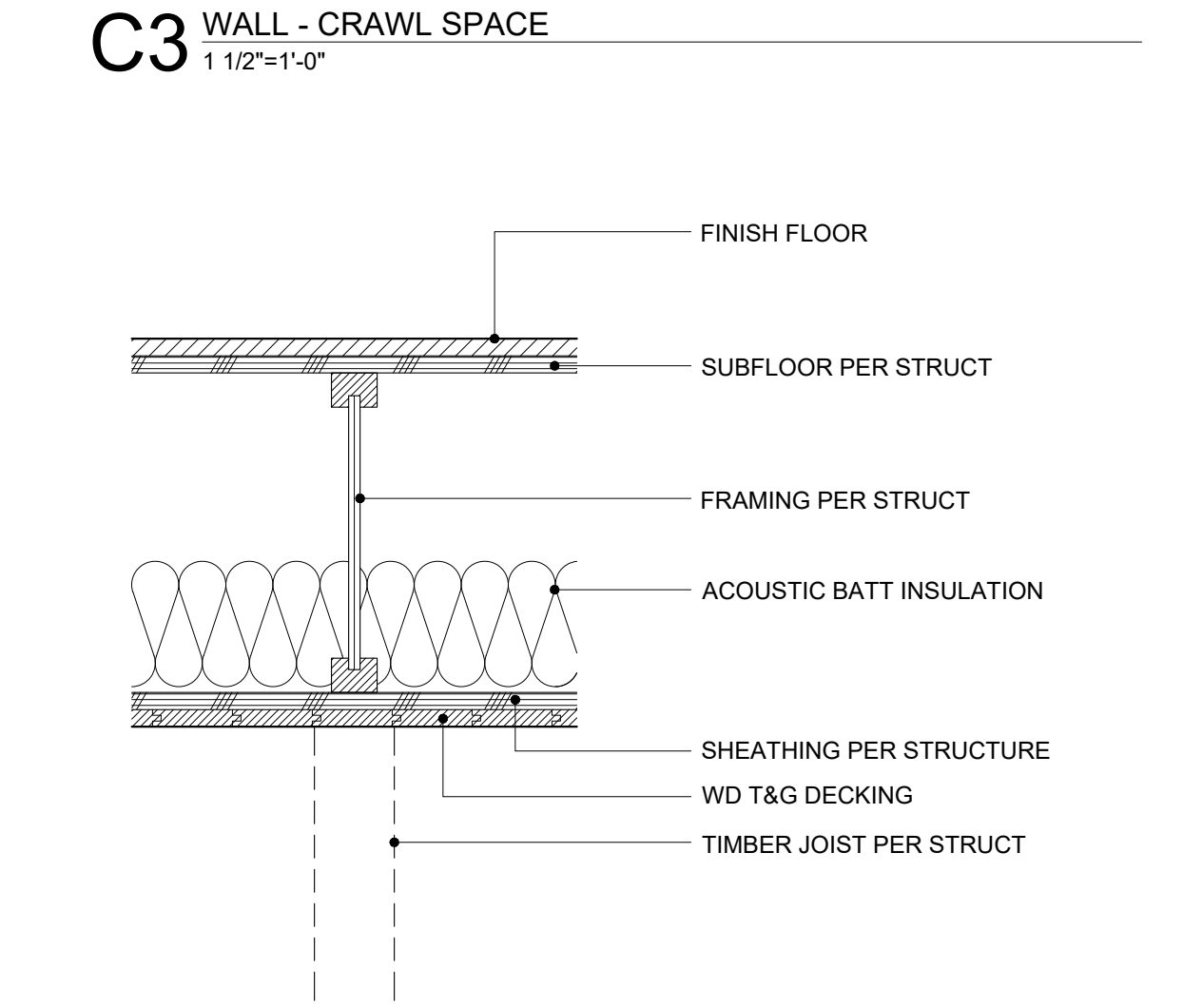
**C1 WALL - CONCRETE BELOW GRADE AT HEATED SPACE**  
1 1/2"=1'-0"



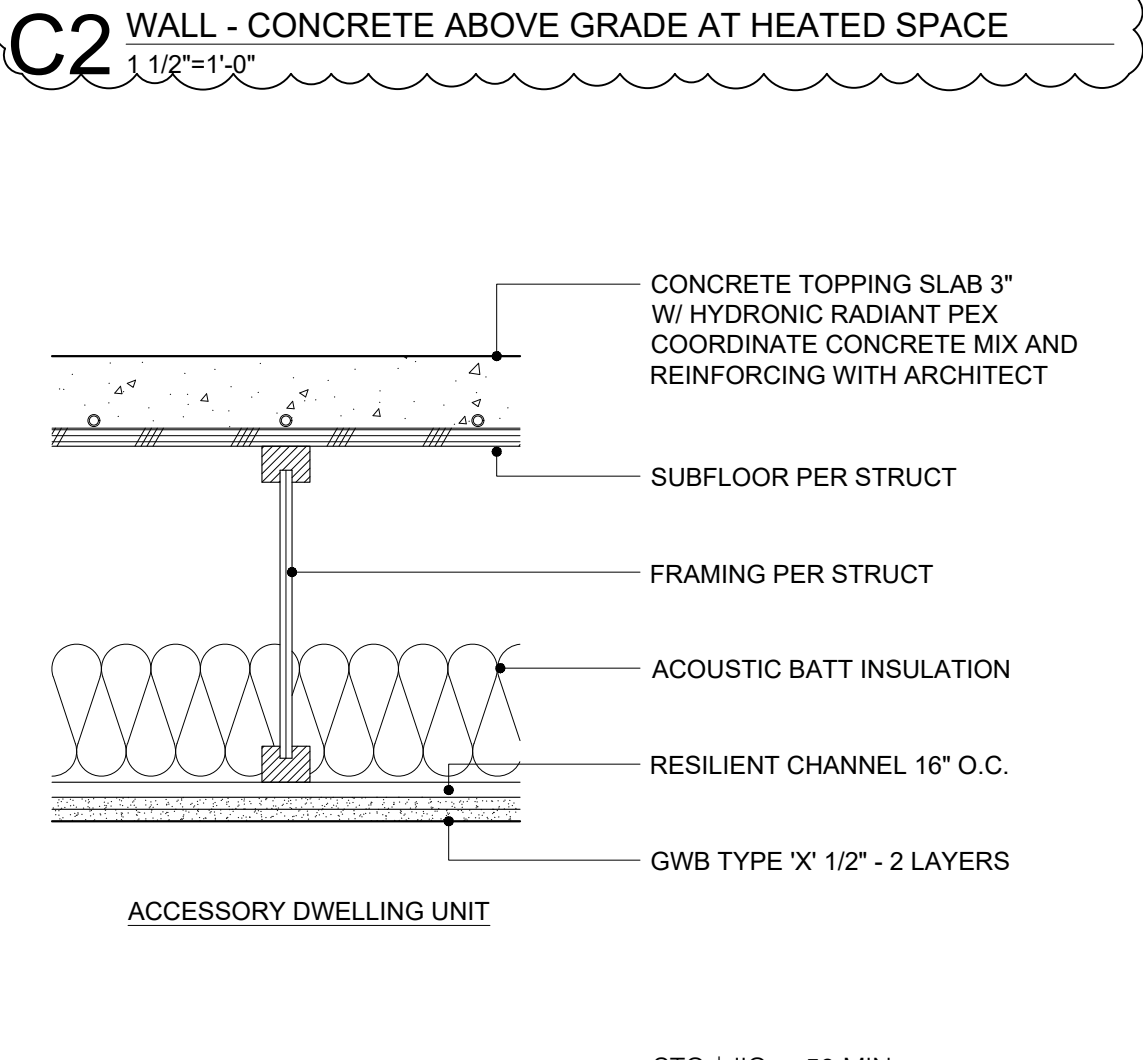
**F7 FLOOR - LEVEL 2 OVERHANG**  
1 1/2"=1'-0"



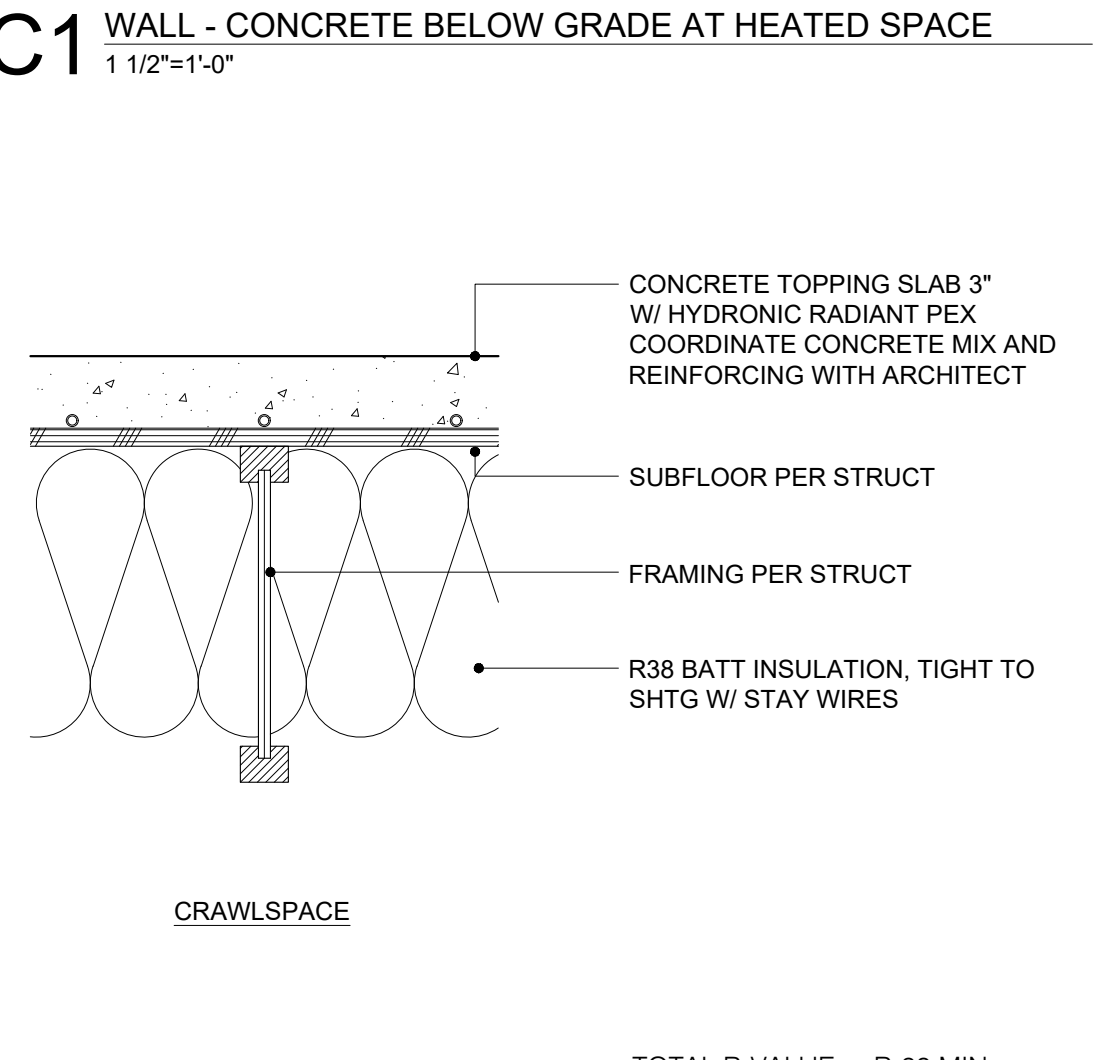
**F6 FLOOR - TYPICAL LEVEL 2**  
1 1/2"=1'-0"



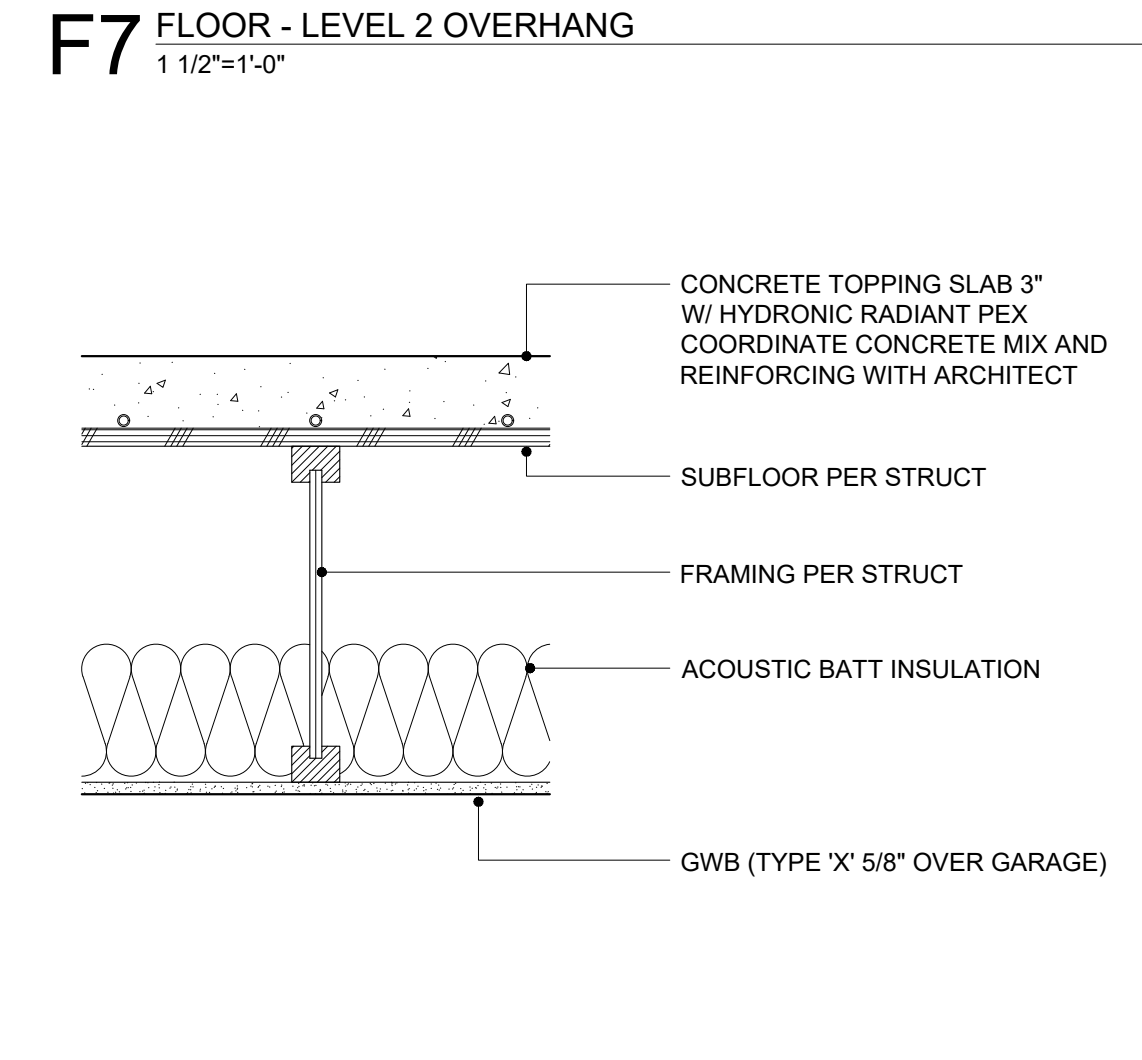
**F5 FLOOR - TYPICAL LEVEL 2**  
1 1/2"=1'-0"



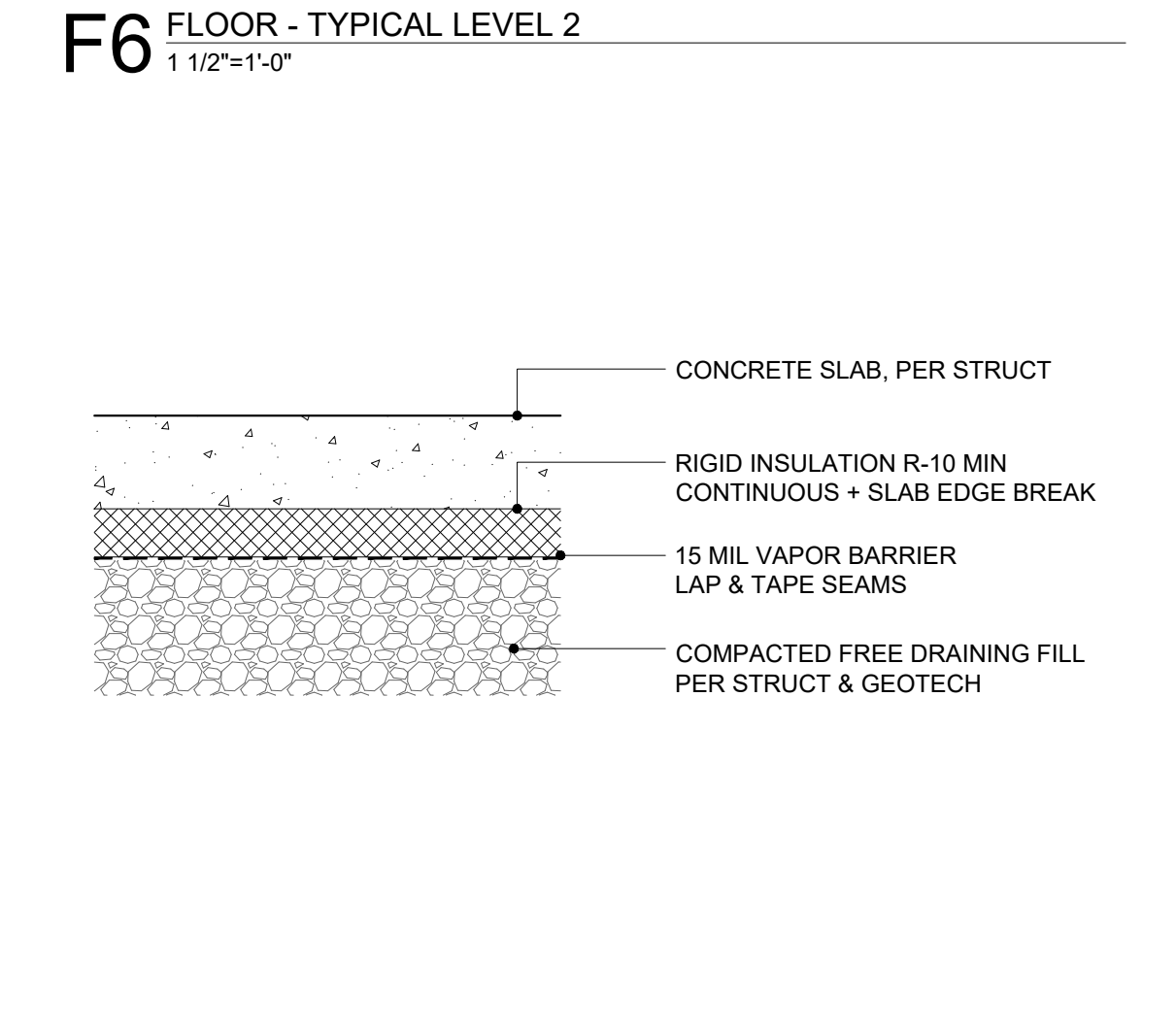
**F4 FLOOR - LEVEL 1 OVER ADU**  
1 1/2"=1'-0"



**F3 FLOOR - TYPICAL OVER CRAWL SPACE**  
1 1/2"=1'-0"



**F2 FLOOR - TYPICAL LEVEL 1**  
1 1/2"=1'-0"



**F1 FLOOR - CONCRETE SLAB ON GRADE - INSULATED**  
1 1/2"=1'-0"

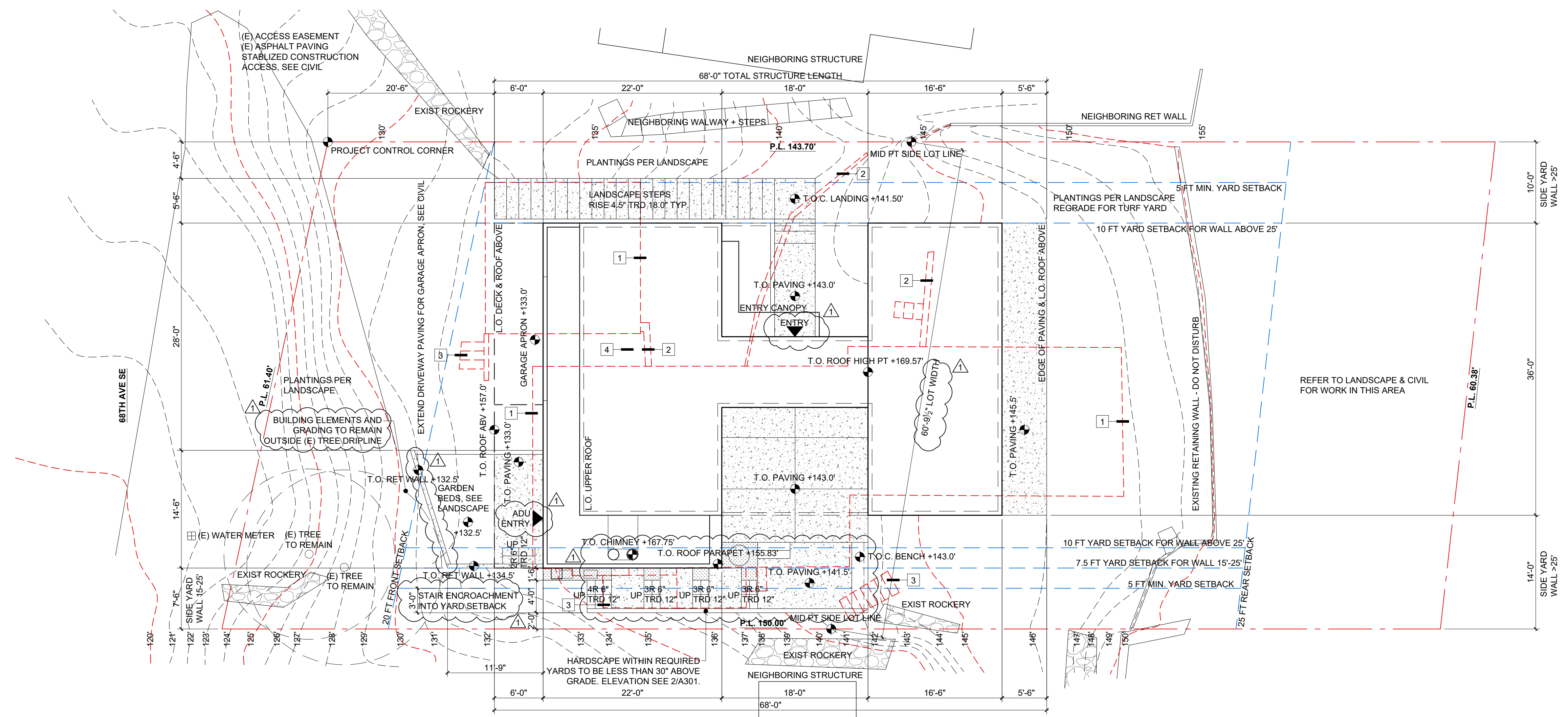
BUILDING PERMIT SUBMITTAL	JAN 18, 2023
BUILDING PERMIT CORRECTION 1	JULY 7, 2023
BUILDING PERMIT CORRECTION 2	AUG 8, 2023

Jurisdiction Review

Owner Name  
SAM FRANKLIN + JUNE CADENHEAD  
Project Address  
3064 68TH AVE SE  
MERCER ISLAND, WA 98040

Sheet Information	
Job Number	2209
Drawn	DR / TL
Checked	SB
Title ASSEMBLIES	

Sheet



**1 SITE PLAN**  
1/8" = 1'-0"

- SITE DEMO KEY NOTES:**
1. REMOVE STRUCTURE INCLUDING ALL FOUNDATIONS & SLABS
  2. REMOVE RETAINING WALL
  3. REMOVE STEPS & WALKWAYS
  4. DECOMMISSION AND REMOVE ABOVE GROUND OIL TANK

**workshop AD**

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3064 68TH AVE SE  
BUILDING PERMIT SUBMITTAL



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MERCER ISLAND, WA 98040

Sheet Information	
Job Number	2209
Drawn	DR / TL
Checked	SB
Title	SITE PLAN

Sheet

**A100**



BUILDING PERMIT SUBMITTAL	JAN 18, 2023
BUILDING PERMIT CORRECTION 1	JULY 7, 2023
BUILDING PERMIT CORRECTION 2	AUG 8, 2023

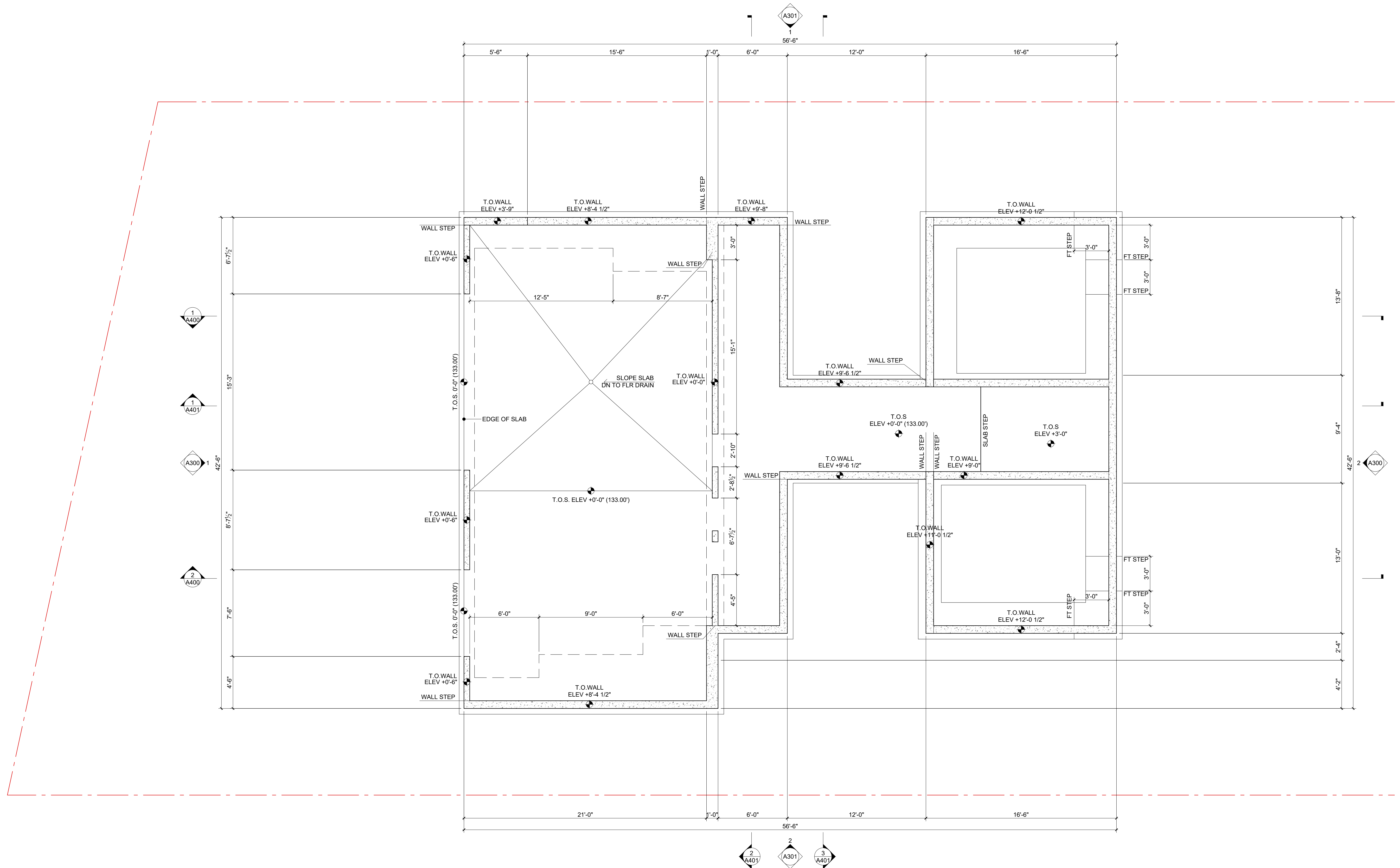
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MERCER ISLAND, WA 98040

Sheet Information	
Job Number	2209
Drawn	DR / TL
Checked	SB
Title	
FOUNDATION PLAN	

Sheet



**1 FOUNDATION PLAN**  
1/4" = 1'-0"

GENERAL FOUNDATION NOTES

- DIMENSIONS TO F.O. CONCRETE. F.O. WALL SHEATHING ALIGNS WITH F.O. CONCRETE.
- SEE SHEET A000 FOR TYPICAL PARTITION ASSEMBLIES.
- ALL WOOD FRAMING IN CONTACT WITH CONCRETE TO BE TREATED.
- FOUNDATION DRAINAGE TO BE PROVIDED PER R405.1.
- FOUNDATION TO BE DAMP-PROOFED FROM TOP OF FOOTING TO FINISHED GRADE PER R406.1.
- PROVIDE CLASS I VAPOR BARRIER, LAPPED & SEALED JOINTS. EXTEND MIN 6" UP AND SEAL TO STEM WALL. PROVIDE 5 CFM MIN CONTINUOUSLY OPERATING EXHAUST FAN WITH DISCHARGE TO EXTERIOR PER R408.3.
- GEOTECHNICAL ENGINEER TO BE ONSITE FULLTIME TO OBSERVE THE EXCAVATION FOR AND INSTALLATION OF THE TEMPORARY SHORING.





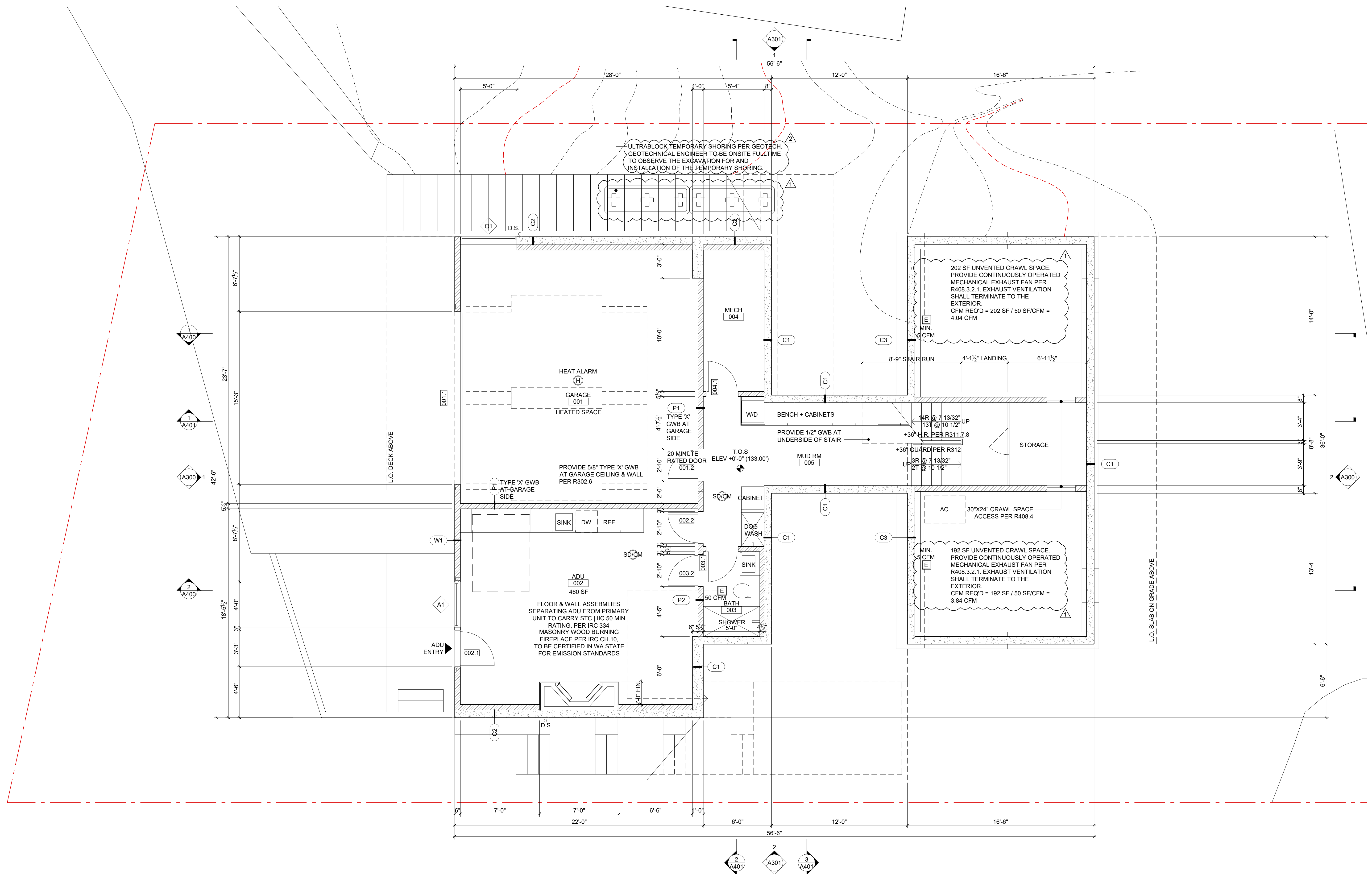
BUILDING PERMIT SUBMITTAL  
JAN. 18, 2023  
BUILDING PERMIT CORRECTION 1  
JULY 7, 2023  
BUILDING PERMIT CORRECTION 2  
AUG. 8, 2023

Jurisdiction Review

Owner Name  
SAM FRANKLIN + JUNE CADENHEAD  
Project Address  
3064 68TH AVE SE  
MERCER ISLAND, WA 98040

Sheet Information  
Job Number 2209  
Drawn DR / TL  
Checked SB  
Title  
BASEMENT PLAN

Sheet



1 BASEMENT PLAN  
1/4" = 1'-0"

GENERAL PLAN NOTES

- 1. SEE SHEET A000 FOR TYPICAL PARTITION ASSEMBLIES
- 2. ALL WOOD FRAMING IN CONTACT WITH CONCRETE TO BE TREATED
- 3. DIMENSIONS TO F.O. CONCRETE. F.O. WALL SHEATHING ALIGNS WITH F.O. CONCRETE.
- 4. PROVIDE GFI OUTLETS AT ALL WET AREAS



- BUILDING PERMIT SUBMITTAL JAN. 18, 2023
- BUILDING PERMIT CORRECTION 1 JULY 7, 2023
- BUILDING PERMIT CORRECTION 2 AUG. 8, 2023

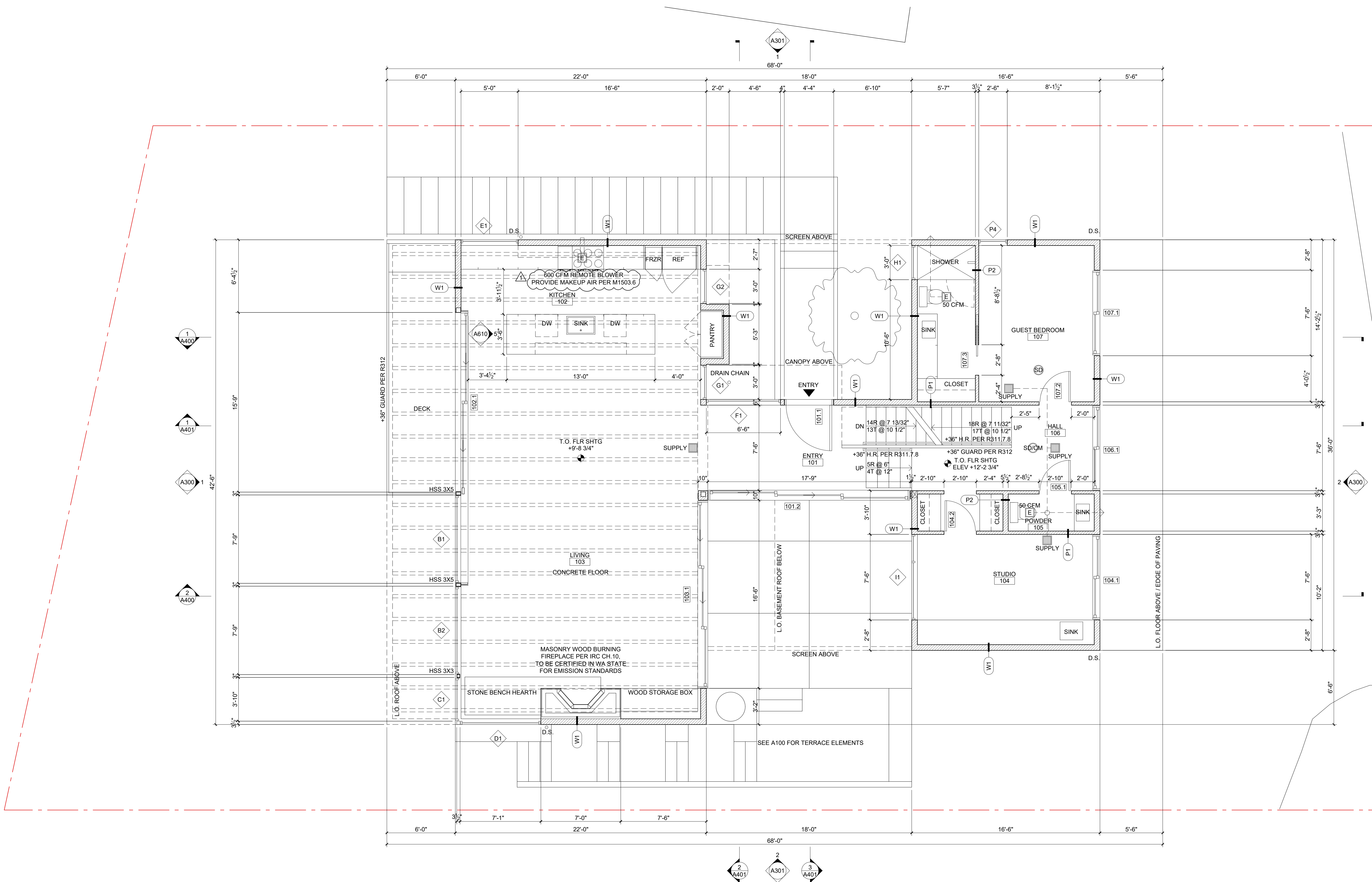
Jurisdiction Review

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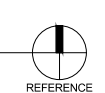
Sheet Information	
Job Number	2209
Drawn	DR / TL
Checked	SB
Title	LEVEL 1 PLAN

Sheet



**1** LEVEL 1 PLAN  
1/4" = 1'-0"

- GENERAL PLAN NOTES
- SEE SHEET A000 FOR TYPICAL PARTITION ASSEMBLIES
  - ALL WOOD FRAMING IN CONTACT WITH CONCRETE TO BE TREATED
  - DIMENSIONS TO F.O. CONCRETE, F.O. WALL SHEATHING ALIGNS WITH F.O. CONCRETE.
  - PROVIDE GFI OUTLETS AT ALL WET AREAS





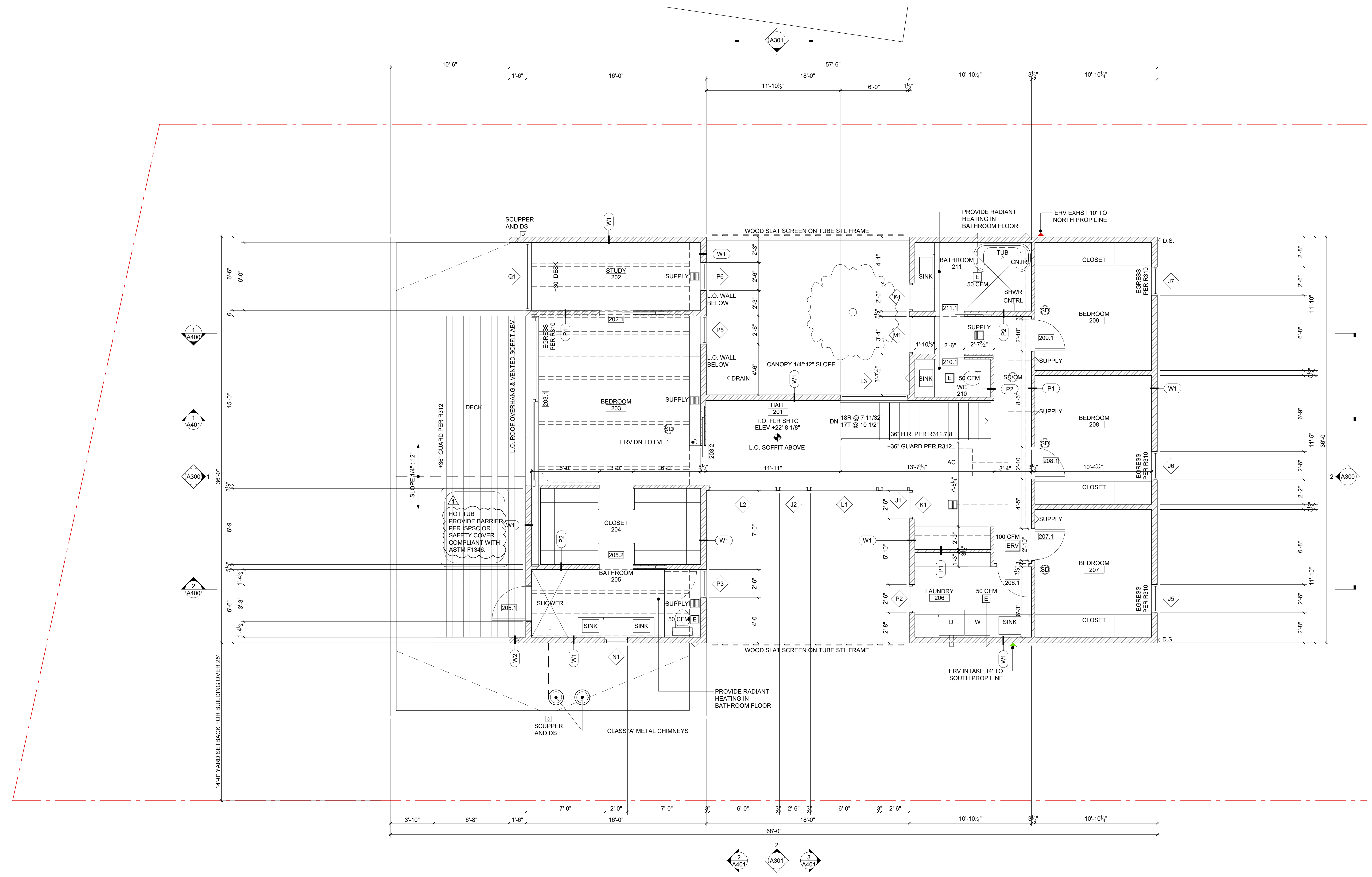
BUILDING PERMIT SUBMITTAL  
JAN 18, 2023  
BUILDING PERMIT CORRECTION 1  
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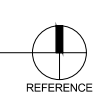
Sheet Information  
Job Number 2209  
Drawn DR / TL  
Checked SB  
Title  
LEVEL 2 PLAN

Sheet



1 LEVEL 2 PLAN  
1/4" = 1'-0"

- GENERAL PLAN NOTES
- 1. SEE SHEET A000 FOR TYPICAL PARTITION ASSEMBLIES
  - 2. ALL WOOD FRAMING IN CONTACT WITH CONCRETE TO BE TREATED
  - 3. DIMENSIONS TO F.O. CONCRETE. F.O. WALL SHEATHING ALIGNS WITH F.O. CONCRETE.
  - 4. PROVIDE GFI OUTLETS AT ALL WET AREAS



**workshop AD**

310 South Washington Street  
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3064 68TH AVE SE

BUILDING PERMIT SUBMITTAL



BUILDING PERMIT SUBMITTAL  
JAN 18, 2023  
BUILDING PERMIT CORRECTION 1  
JULY 7, 2023  
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Jurisdiction Review

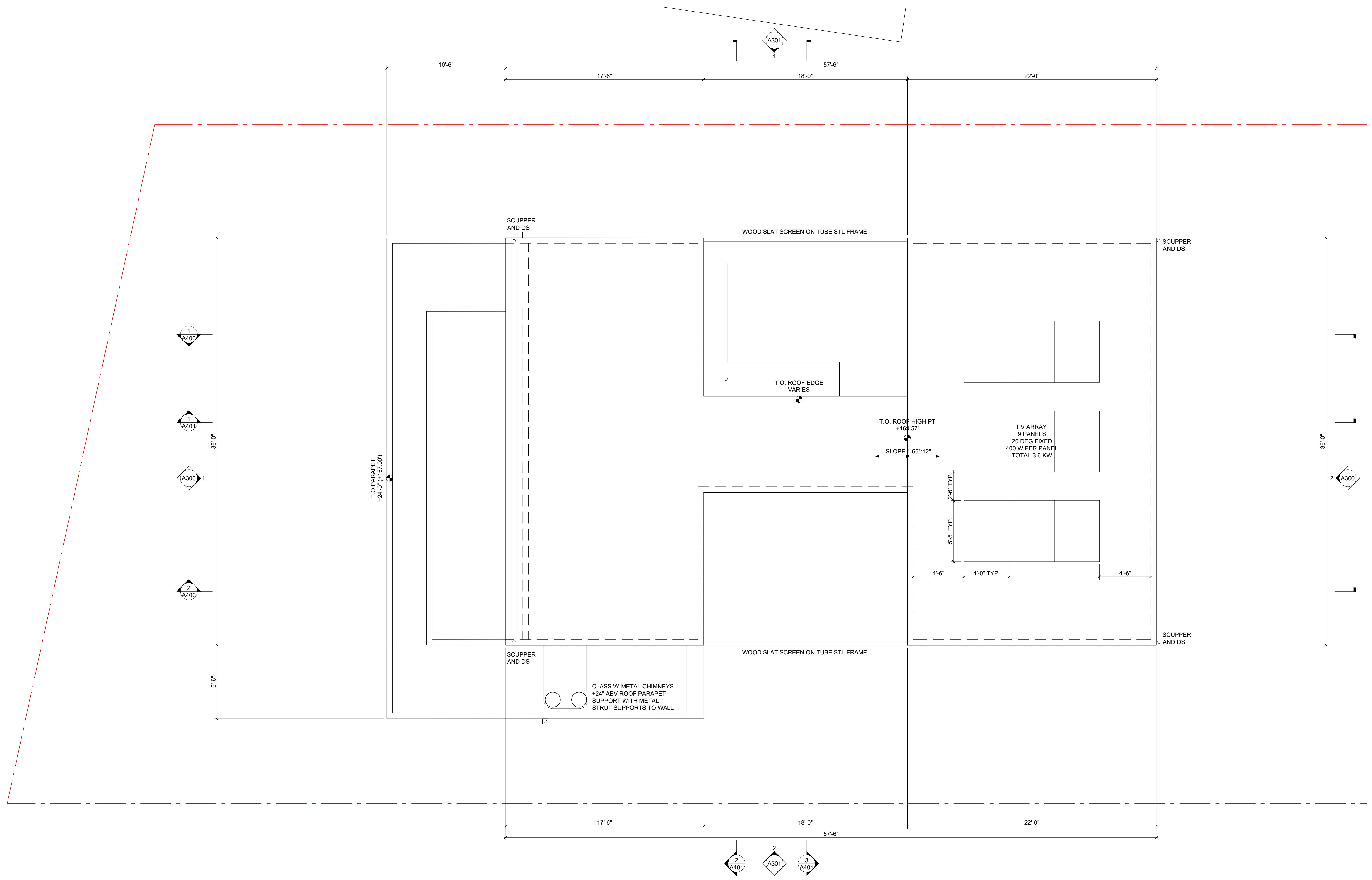
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Project Address  
3064 68TH AVE SE  
MERCER ISLAND, WA 98040

Sheet Information  
Job Number 2209  
Drawn DR / TL  
Checked SB  
Title ROOF PLAN

Sheet

**A204**

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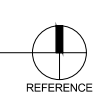


**1** ROOF PLAN  
1/4" = 1'-0"

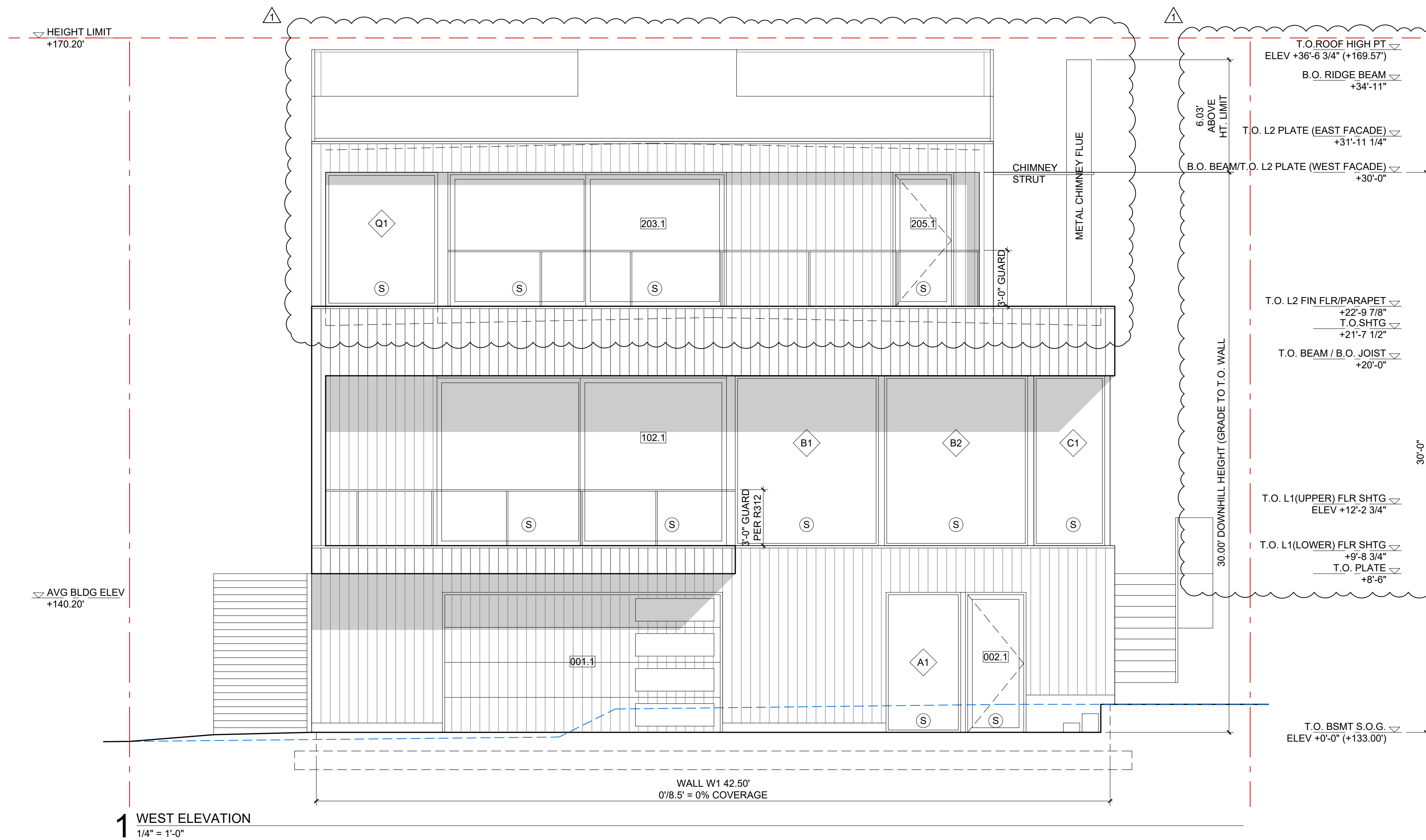
Month	Solar Radiation (kWh/m <sup>2</sup> /day)	AC Energy (kWh)
January	1.05	104
February	2.01	202
March	3.07	304
April	4.08	379
May	5.10	461
June	6.08	540
July	6.94	611
August	5.88	582
September	4.03	373
October	2.07	204
November	1.07	105
December	1.01	100
<b>Annual</b>	<b>3.82</b>	<b>3,788</b>

**3,788 kWh/Year<sup>1</sup>**

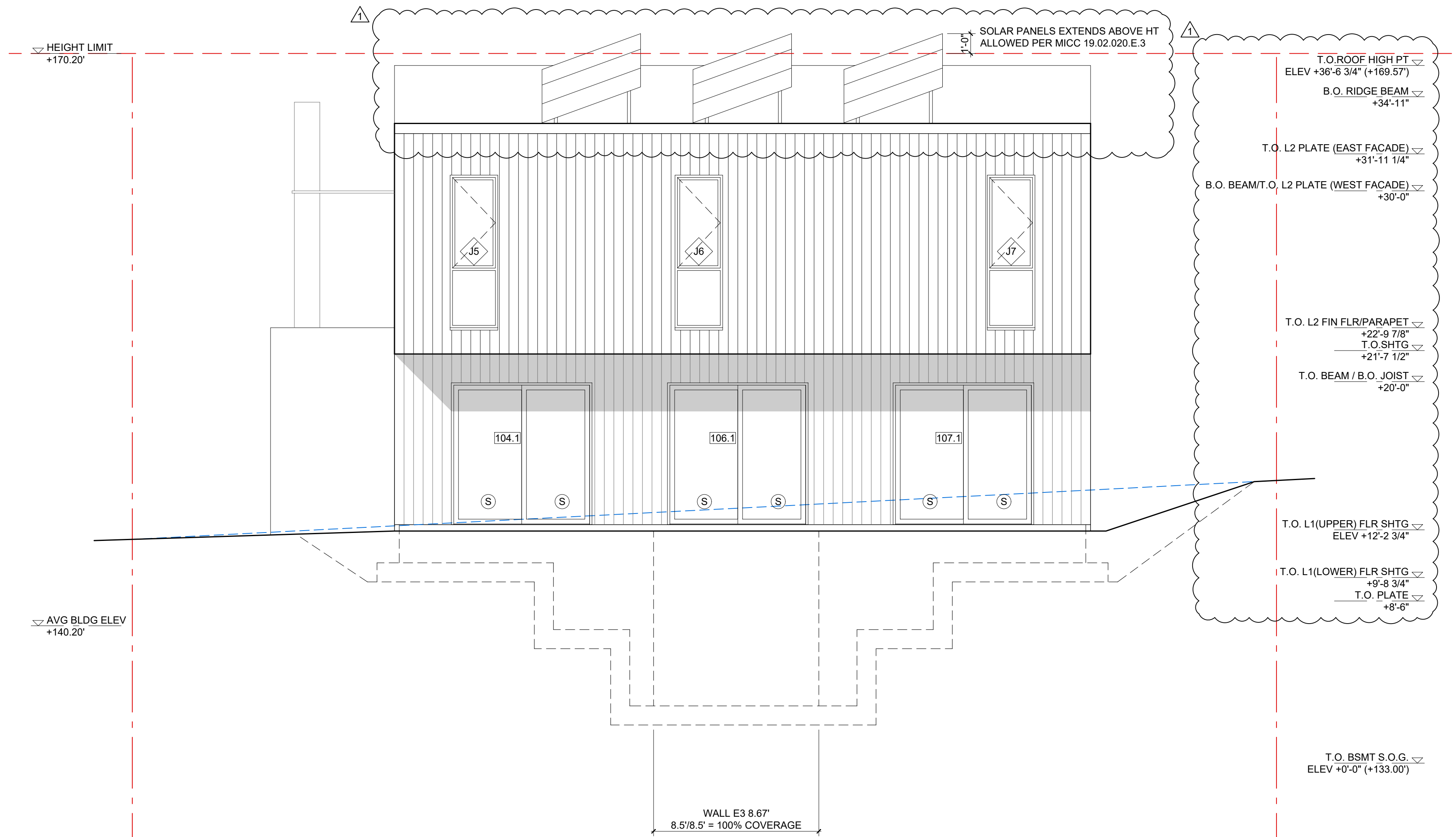
Location and Station Identification  
Project Location: 3064 68th Ave SE, Mercer Island WA  
Weather Station Name: LA, Long 47°N, 122°W, 140 ft







**1 WEST ELEVATION**  
1/4" = 1'-0"



**2 EAST ELEVATION**  
1/4" = 1'-0"

**GENERAL ELEVATION & SECTION NOTES:**

1. SAFETY GLAZING (S) REQUIRED PER R308.
2. VERTICAL GLAZING TO HAVE A MAX. U-VALUE OF 0.28 PER PRESCRIPTIVE REQUIREMENTS - SEE G000.
3. SEE A800 FOR DOOR & WINDOW SCHEDULES.
4. EGRESS PER R310 & R311.
5. EXHAUST OUTLETS TO BE A MINIMUM OF (3) THREE FEET FROM ANY OPENING.
6. SEE A000 FOR FLOOR, WALL, AND ROOF ASSEMBLIES.
7. HANDRAIL REQUIREMENTS PER R311.7.8
8. GUARDS PER R312.1.3. MAX 4-INCH SPHERE PASS THROUGH.
9. PER R301.5 GUARD INFILL COMPONENTS DESIGNED TO WITHSTAND A HORIZONTALLY NORMAL APPLIED LOAD OF 50 PSF ON AN AREA EQUAL TO ONE SQFT. ALL TOP RAILS TO RESIST A 200 LB CONCENTRATED LOAD.
10. PROVIDE STRIP VENTILATION AT EAVES PER R806.

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3064 68TH AVE SE

BUILDING PERMIT SUBMITTAL



BUILDING PERMIT SUBMITTAL  
JAN. 18, 2023  
BUILDING PERMIT CORRECTION 1  
JULY 7, 2023  
BUILDING PERMIT CORRECTION 2  
AUG. 8, 2023

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Sheet Information  
Job Number 2209  
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Checked SB  
Title  
ELEVATIONS

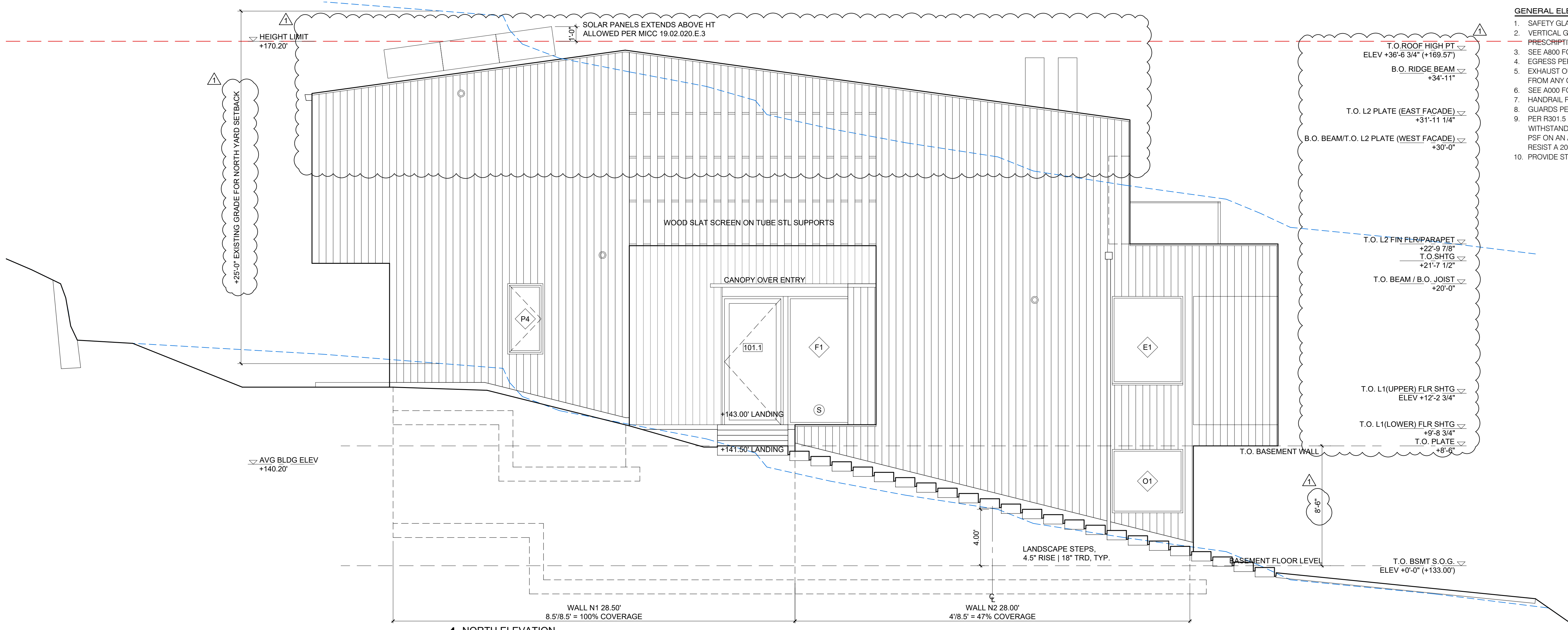
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**A300**

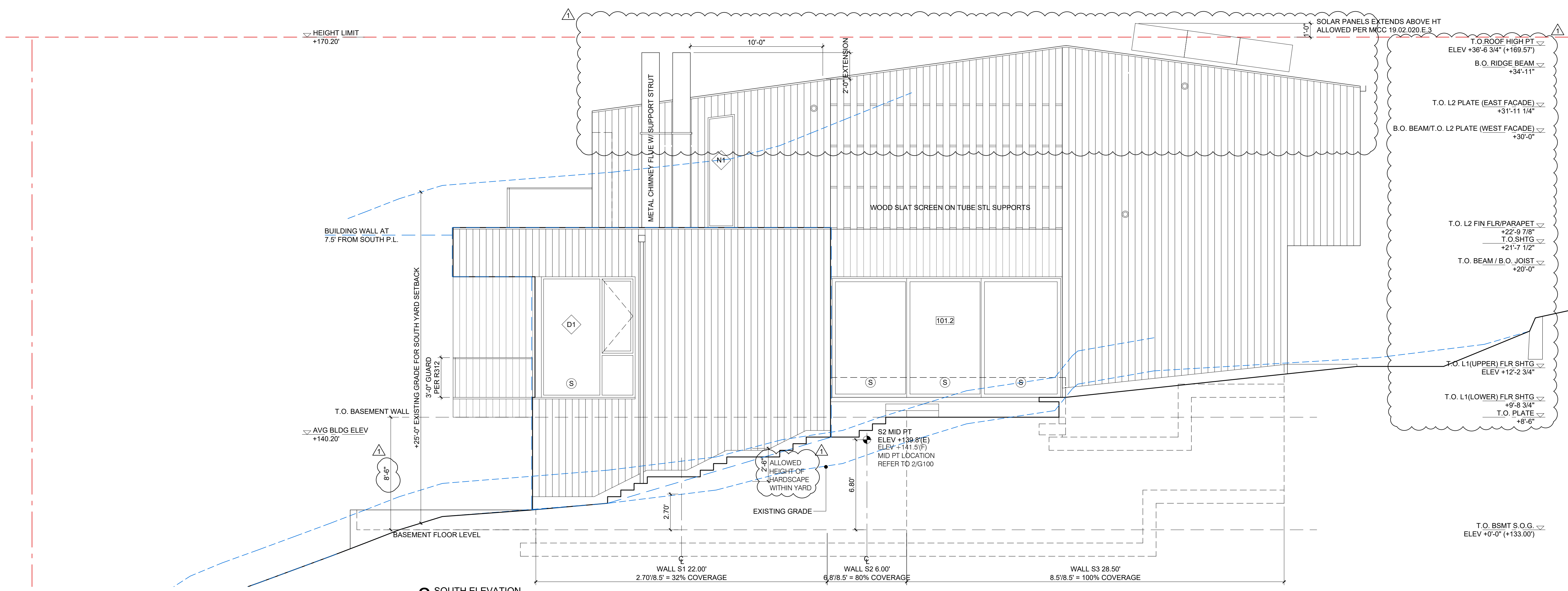


GENERAL ELEVATION & SECTION NOTES:

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- VERTICAL GLAZING TO HAVE A MAX. U-VALUE OF 0.28 PER PRESCRIPTIVE REQUIREMENTS - SEE G000.
- SEE A800 FOR DOOR & WINDOW SCHEDULES.
- EGRESS PER R310 & R311.
- EXHAUST OUTLETS TO BE A MINIMUM OF (3) THREE FEET FROM ANY OPENING.
- SEE A000 FOR FLOOR, WALL, AND ROOF ASSEMBLIES.
- HANDRAIL REQUIREMENTS PER R311.7.8
- GUARDS PER R312.1.3. MAX 4-INCH SPHERE PASS THROUGH.
- PER R301.5 GUARD INFILL COMPONENTS DESIGNED TO WITHSTAND A HORIZONTALLY NORMAL APPLIED LOAD OF 50 PSF ON AN AREA EQUAL TO ONE SQFT. ALL TOP RAILS TO RESIST A 200 LB CONCENTRATED LOAD.
- PROVIDE STRIP VENTILATION AT EAVES PER R806.



1 NORTH ELEVATION  
1/4" = 1'-0"



2 SOUTH ELEVATION  
1/4" = 1'-0"

BUILDING PERMIT SUBMITTAL	JAN. 18, 2023
BUILDING PERMIT CORRECTION 1	JULY 7, 2023
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Jurisdiction Review

Owner Name  
SAM FRANKLIN + JUNE CADENHEAD

Project Address  
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MERCER ISLAND, WA 98040

Sheet Information	
Job Number	2209
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ELEVATIONS	

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BUILDING PERMIT SUBMITTAL	JAN 18, 2023
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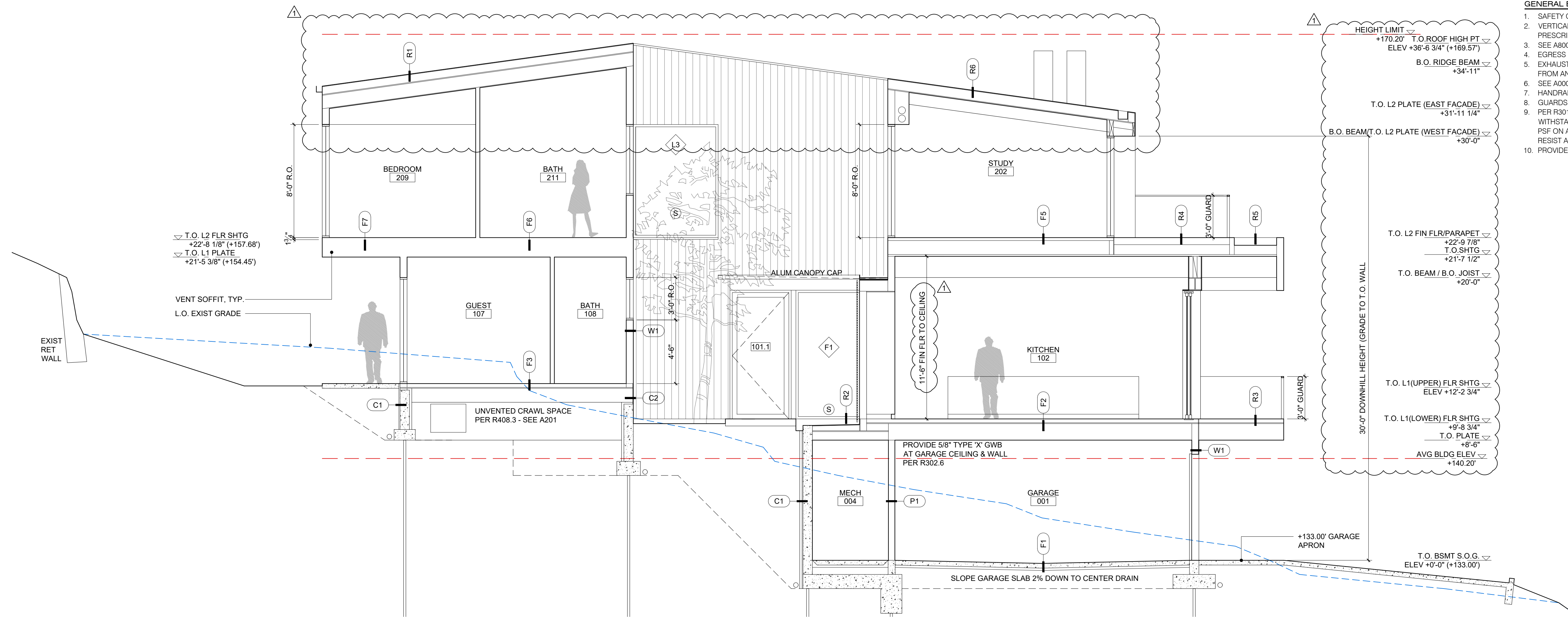
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Job Number	2209
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BUILDING SECTIONS	

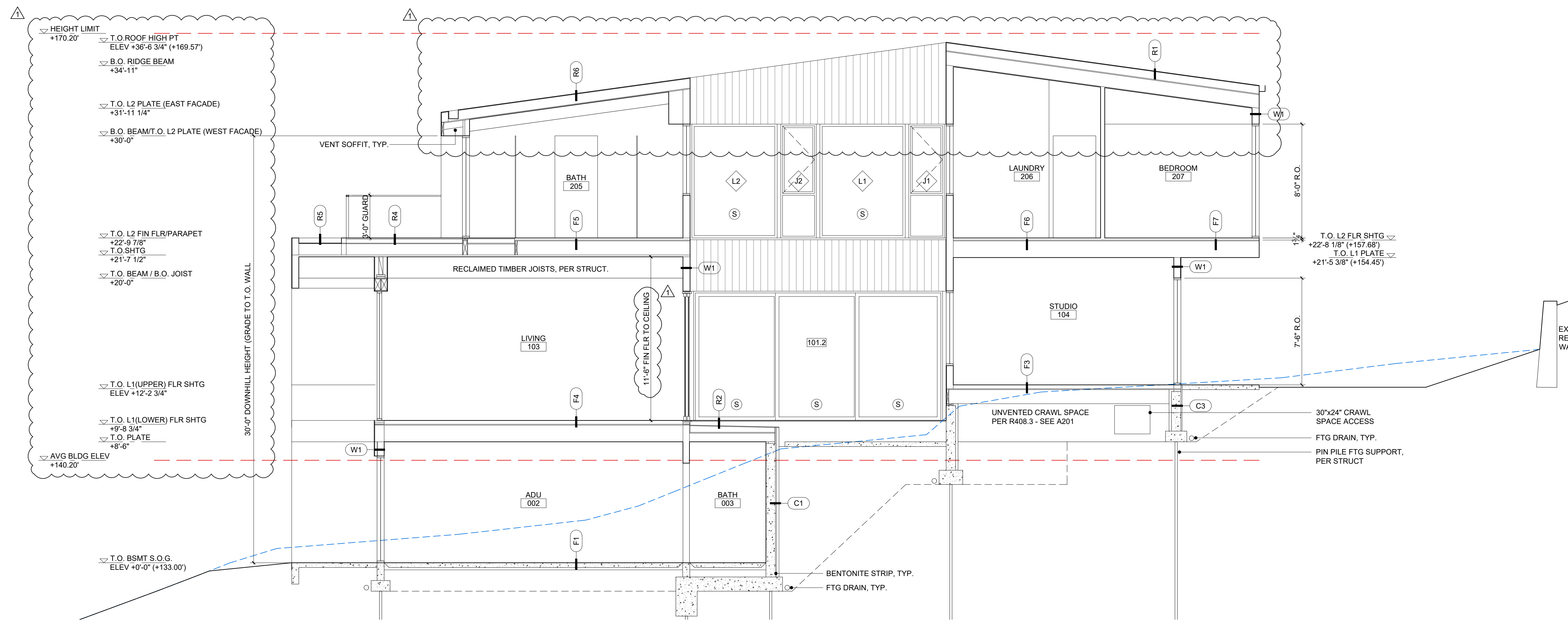
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**GENERAL ELEVATION & SECTION NOTES:**

- SAFETY GLAZING (S) REQUIRED PER R308.
- VERTICAL GLAZING TO HAVE A MAX. U-VALUE OF 0.28 PER PRESCRIPTIVE REQUIREMENTS - SEE G000.
- SEE A800 FOR DOOR & WINDOW SCHEDULES.
- EGRESS PER R310 & R311.
- EXHAUST OUTLETS TO BE A MINIMUM OF (3) THREE FEET FROM ANY OPENING.
- SEE A000 FOR FLOOR, WALL, AND ROOF ASSEMBLIES.
- HANDRAIL REQUIREMENTS PER R311.7.8
- GUARDS PER R312.1.3, MAX 4-INCH SPHERE PASS THROUGH.
- PER R301.5 GUARD INFILL COMPONENTS DESIGNED TO WITHSTAND A HORIZONTALLY NORMAL APPLIED LOAD OF 50 PSF ON AN AREA EQUAL TO ONE SQFT. ALL TOP RAILS TO RESIST A 200 LB CONCENTRATED LOAD.
- PROVIDE STRIP VENTILATION AT EAVES PER R806.



**1 BUILDING SECTION**  
1/4" = 1'-0"

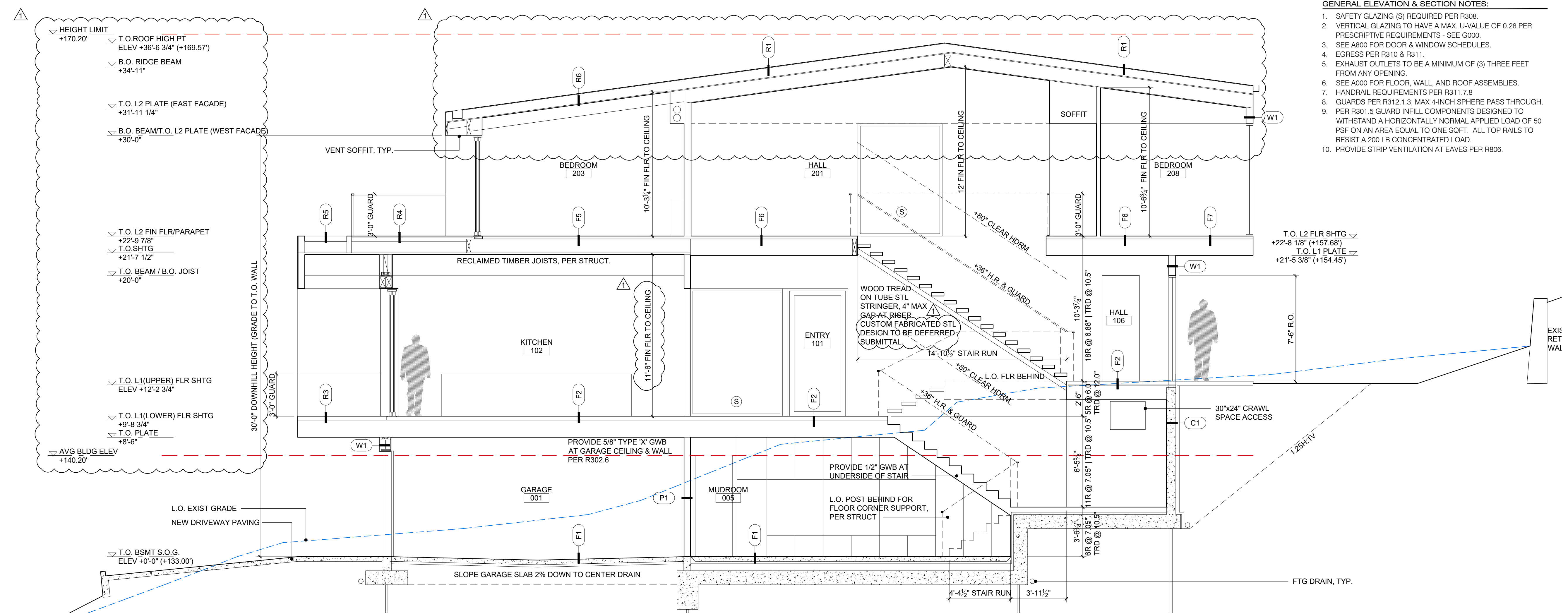


**2 BUILDING SECTION**  
1/4" = 1'-0"

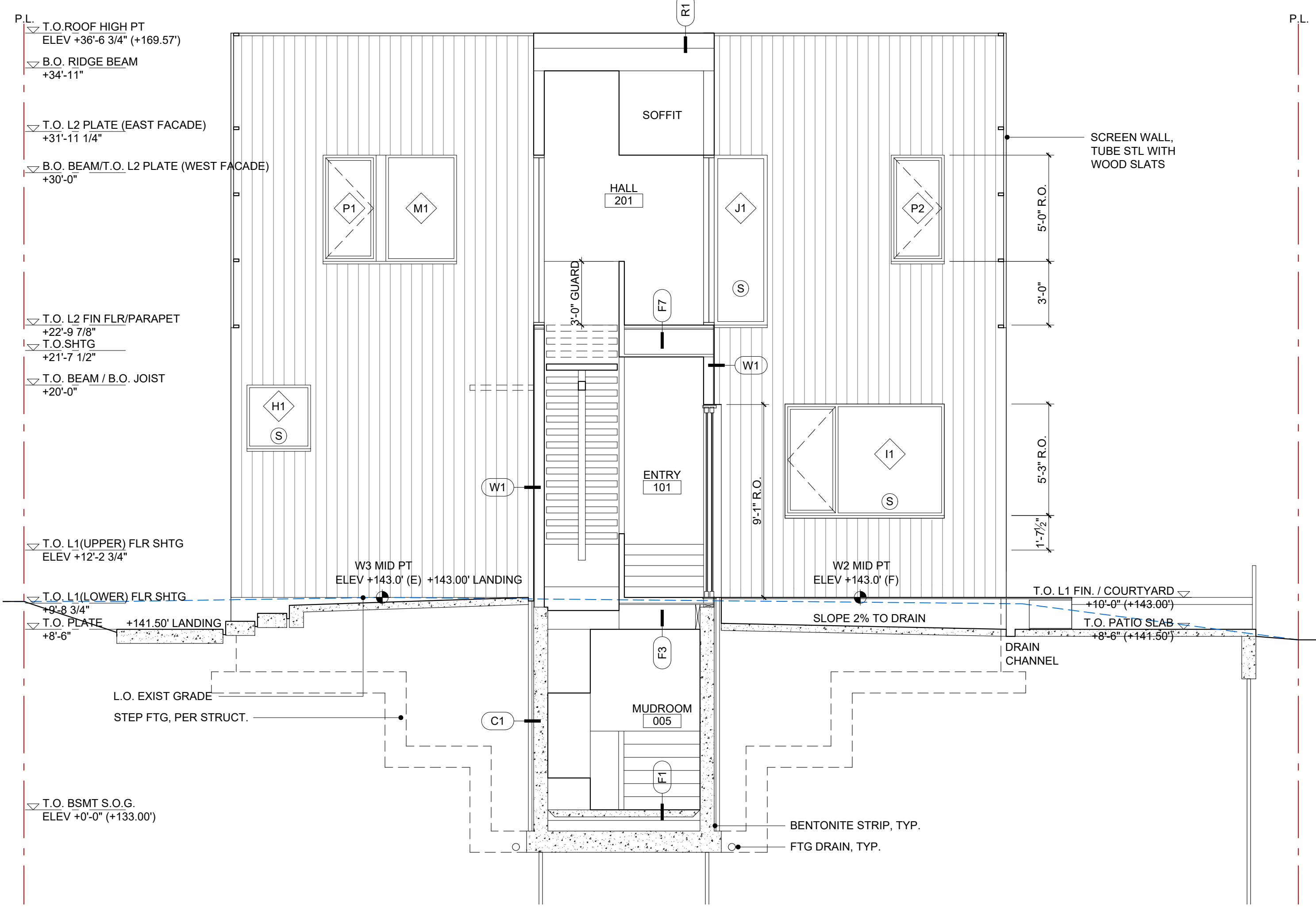


GENERAL ELEVATION & SECTION NOTES:

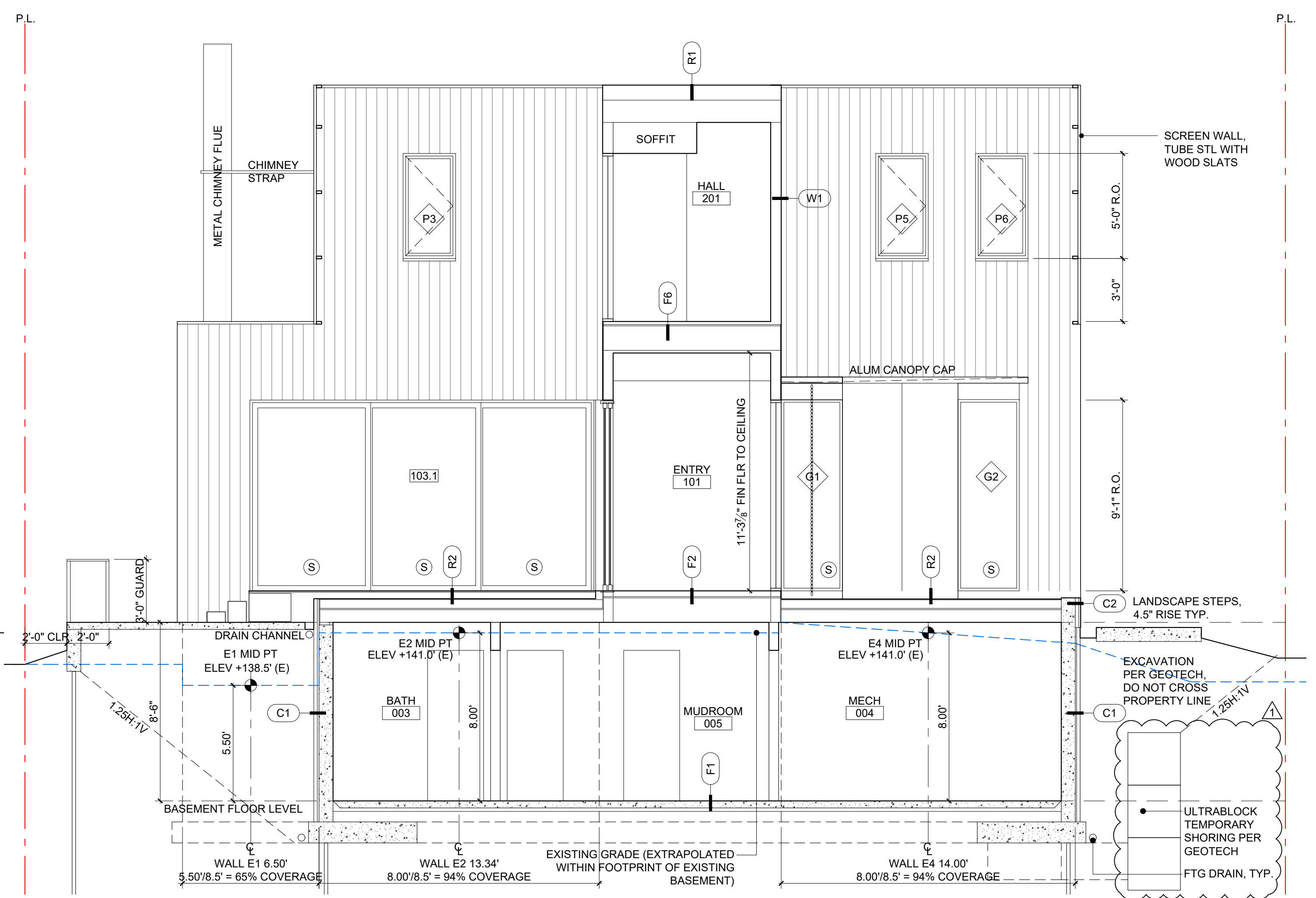
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- GUARDS PER R312.1.3. MAX 4-INCH SPHERE PASS THROUGH.
- PER R301.5 GUARD INFILL COMPONENTS DESIGNED TO WITHSTAND A HORIZONTALLY NORMAL APPLIED LOAD OF 50 PSF ON AN AREA EQUAL TO ONE SOFT. ALL TOP RAILS TO RESIST A 200 LB CONCENTRATED LOAD.
- PROVIDE STRIP VENTILATION AT EAVES PER R806.



1 BUILDING SECTION  
1/4" = 1'-0"



3 BUILDING SECTION | COURTYARD EAST ELEVATION  
1/4" = 1'-0"



2 BUILDING SECTION | COURTYARD WEST ELEVATION  
1/4" = 1'-0"

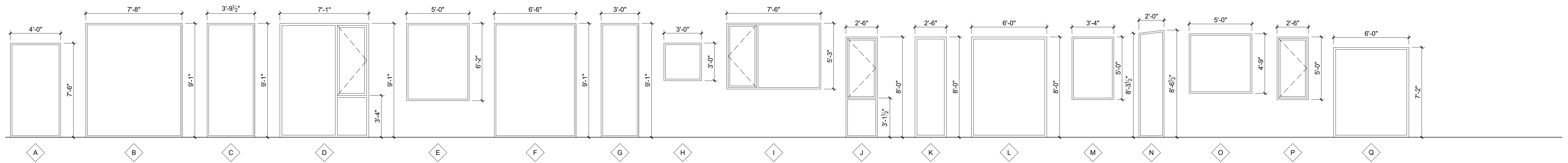
BUILDING PERMIT SUBMITTAL	JAN 18, 2023
BUILDING PERMIT CORRECTION 1	JULY 7, 2023
BUILDING PERMIT CORRECTION 2	AUG 8, 2023

Jurisdiction Review

Owner Name  
SAM FRANKLIN + JUNE CADENHEAD  
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Sheet Information	
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Drawn	DR / TL
Checked	SB
	Title
	BUILDING SECTIONS

Sheet



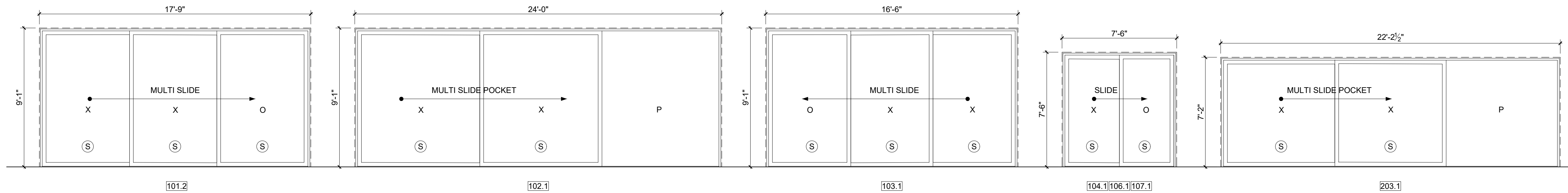
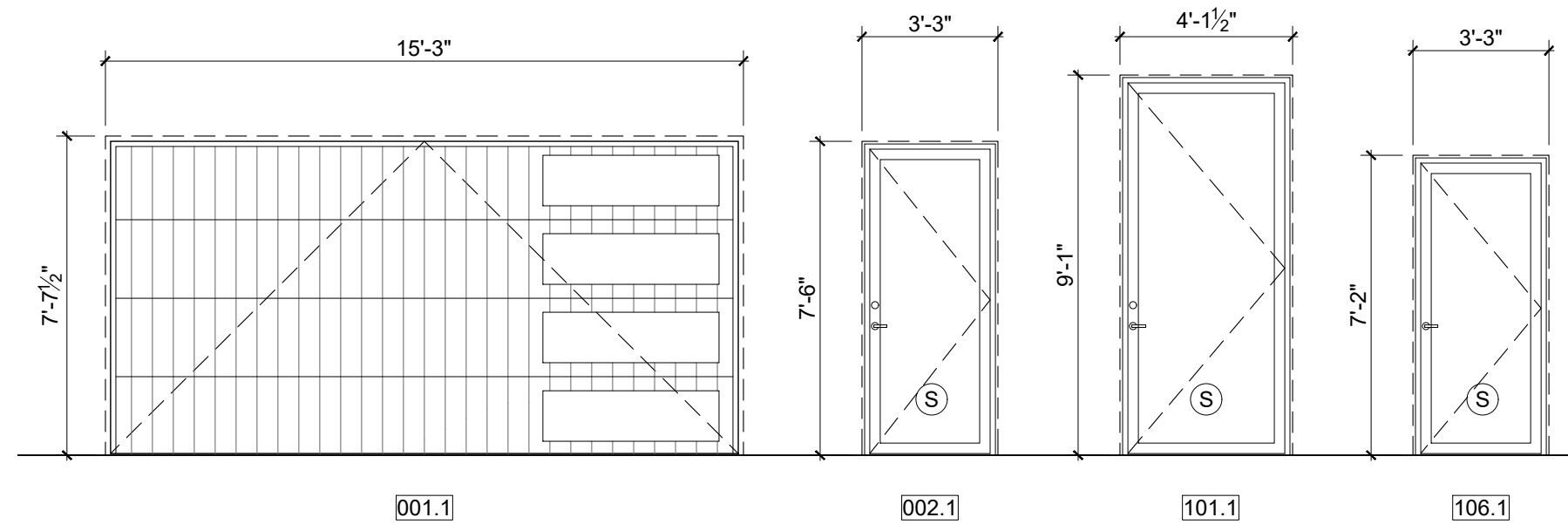
1 GRAPHIC WINDOW SCHEDULE  
1/4" = 1'-0"

WINDOW SCHEDULE: BASIS OF DESIGN - MARVIN SIGNATURE MODERN AND ESSENTIAL

Table with columns: MARK, ROOM NUMBER, R.O. WIDTH (In.), R.O. HEIGHT (In.), MATL., TYPE, GLASS, REMARKS, QA, U-VALUE, AREA (SF), U\*AREA. Includes a summary row for WINDOW TOTAL and WINDOW AVERAGE U-VALUE.

WINDOW | DOOR NOTES

- 1. ALL UNITS DRAWN AS VIEWED FROM THE EXTERIOR.
2. REFER TO ELEVATIONS FOR SAFETY GLAZING LOCATIONS.
3. ALL GLAZING IN EXTERIOR DOORS TO BE SAFETY GLAZING.
4. ALL WINDOW DIMENSIONS ON GRAPHIC SCHEDULE ARE ROUGH OPENING DIMENSIONS, U.N.O.
5. ALL EXTERIOR DOOR DIMENSIONS ON GRAPHIC SCHEDULE ARE ROUGH OPENING DIMENSIONS, U.N.O.
6. VERTICAL DIMENSION OF EXTERIOR DOOR ROUGH OPENING IS MEASURED FROM BOTTOM OF SILL FRAME.
7. PROVIDE SPACE BELOW EXTERIOR DOOR SILL FRAMES FOR FLASHING, AS REQUIRED.
8. ALIGN TOP OF DOOR FRAME WITH TOP OF ADJACENT WINDOW FRAMES, AT ALL LOCATIONS.
9. CONFIRM SCREEN REQ'S AT OPERABLE UNITS WITH OWNER.



2 GRAPHIC DOOR SCHEDULE  
1/4" = 1'-0"

DOOR SCHEDULE - EXTERIOR

Table with columns: NO., LOCATION, R.O. WIDTH, R.O. HEIGHT, SWNG, THICK, FRAME, HARDWARE, MATL., REMARKS, QA, U-VALUE, AREA (SF), U\*AREA. Includes a summary row for DOOR TOTAL and DOOR AVERAGE U-VALUE.

DOOR SCHEDULE - INTERIOR

Table with columns: NO., LOCATION, PANEL WIDTH, PANEL HEIGHT, THICKNESS, TYPE, HARDWARE, MATL., REMARKS, QA. Includes a summary row for DOOR TOTAL.

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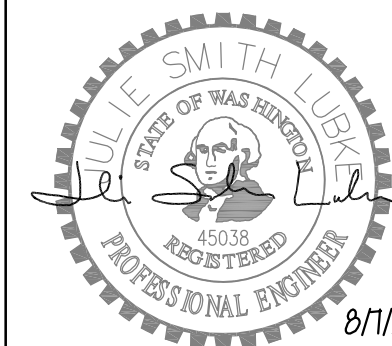
Sheet Information  
Job Number 2209  
Drawn DR / TL  
Checked SB

Title  
WINDOW AND DOOR SCHEDULES

Sheet

A900





28. TONGUE AND GROOVE STRUCTURAL ROOF AND FLOOR DECKING SHALL BE INSTALLED AS FOLLOWS: 2X DECKING SHALL BE TOENAILED THROUGH THE TONGUE AND FACENAILED WITH ONE 16D NAIL PER PIECE PER SUPPORT. 3X AND 4X DECKING SHALL BE TOENAILED WITH ONE 40D NAIL AND FACENAILED WITH ONE 60D NAIL PER SUPPORT. COURSES SHALL BE SPIKED TOGETHER WITH 8" SPIKES AT 30" O. C. (MAXIMUM) AND AT 10" (MAXIMUM) FROM EACH END OF EACH PIECE. SPIKES SHALL BE INSTALLED IN PREDRILLED EDGE HOLES.

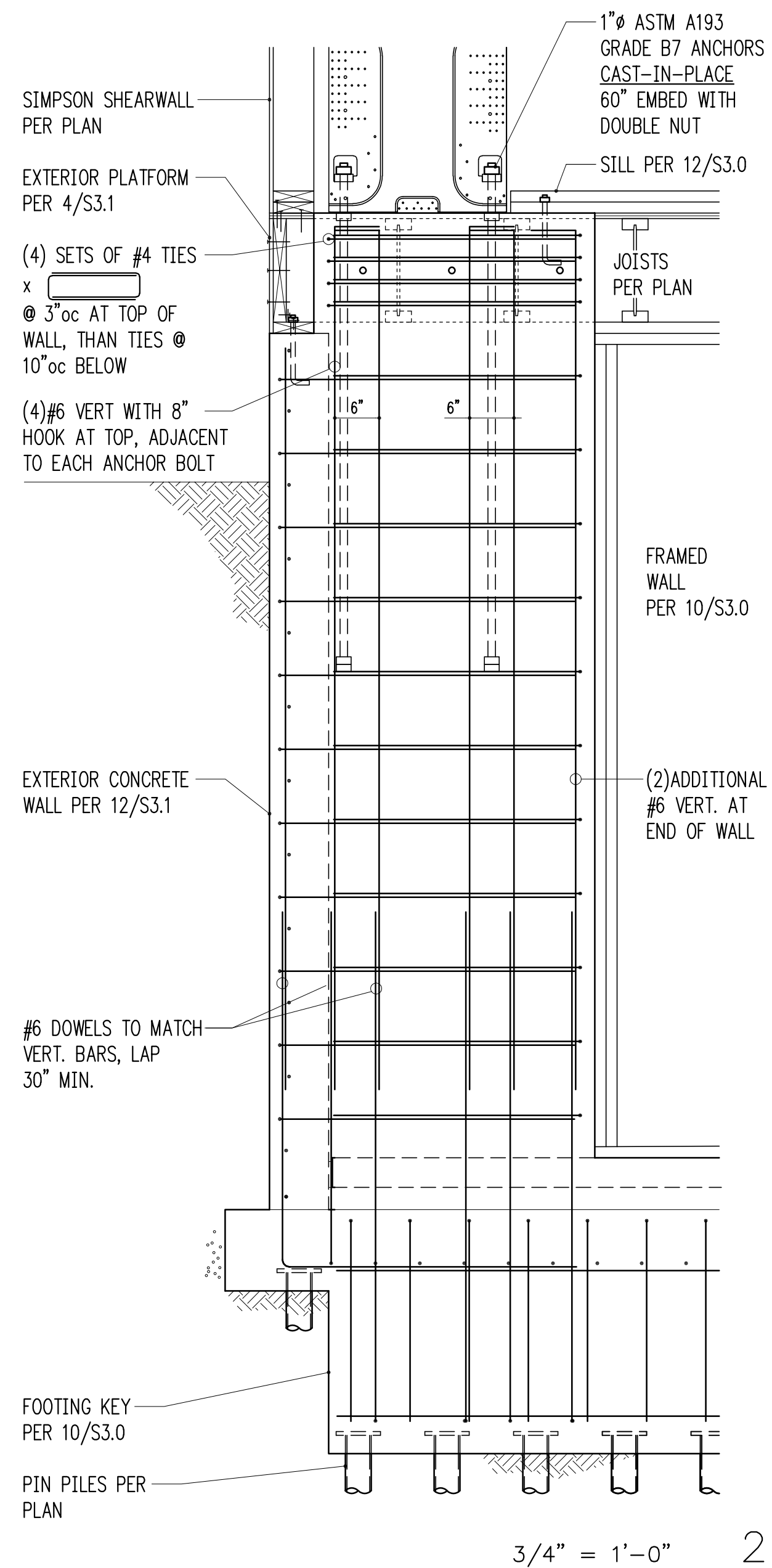
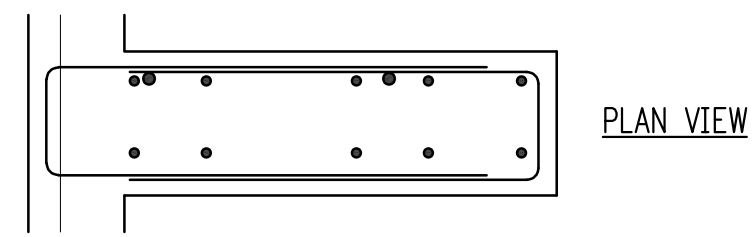
29. WOOD FRAMING NOTES--THE FOLLOWING APPLY UNLESS OTHERWISE SHOWN:

- A. ALL WOOD FRAMING DETAILS NOT SHOWN OTHERWISE SHALL BE CONSTRUCTED TO THE MINIMUM STANDARDS OF THE INTERNATIONAL BUILDING CODE. MINIMUM NAILING, UNLESS OTHERWISE NOTED, SHALL CONFORM TO TABLE 2304.9.1 OF THE INTERNATIONAL BUILDING CODE. UNLESS NOTED OTHERWISE, ALL NAILS SHALL BE COMMON. COORDINATE THE SIZE AND LOCATION OF ALL OPENINGS WITH MECHANICAL AND ARCHITECTURAL DRAWINGS. PROVIDE WASHERS UNDER THE HEADS AND NUTS OF ALL BOLTS AND LAG SCREWS BEARING ON WOOD.
- B. WALL FRAMING: ALL STUD WALLS SHOWN AND NOT OTHERWISE NOTED SHALL BE 2X4 STUDS @ 16" O. C. AT INTERIOR WALLS AND 2X6 @ 16" O. C. AT EXTERIOR WALLS. TWO STUDS MINIMUM SHALL BE PROVIDED AT THE END OF ALL WALLS AND AT EACH SIDE OF ALL OPENINGS. TWO 2X8 HEADERS SHALL BE PROVIDED OVER ALL OPENINGS NOT OTHERWISE NOTED. SOLID BLOCKING FOR WOOD COLUMNS SHALL BE PROVIDED THROUGH FLOORS TO SUPPORTS BELOW. WALLS SHALL HAVE A SINGLE BOTTOM PLATE AND A DOUBLE TOP PLATE. END NAIL TOP PLATE TO EACH STUD WITH TWO 16D NAILS, AND TOENAIL OR END NAIL EACH STUD TO BOTTOM PLATE WITH TWO 16D NAILS. FACE NAIL DOUBLE TOP PLATE WITH 16D AT 12" O. C. AND LAP MINIMUM 4'-0" AT JOINTS AND PROVIDE SIX 16D NAILS AT 4" O. C. EACH SIDE OF JOINT. ALL STUD WALLS SHALL HAVE THEIR LOWER WOOD PLATES ATTACHED TO WOOD FRAMING BELOW WITH 16D NAILS AT 12" O. C. STAGGERED OR BOLTED TO CONCRETE WITH 5/8" DIAMETER ANCHOR BOLTS (WITH 7" MINIMUM EMBEDMENT) @ 4'-0" O. C. UNLESS INDICATED OTHERWISE. INDIVIDUAL MEMBERS OF BUILT-UP POSTS SHALL BE NAILED TO EACH OTHER WITH 16D @ 12" O. C. STAGGERED. REFER TO THE PLANS AND SHEAR WALL SCHEDULE FOR REQUIRED SHEATHING AND NAILING. WHEN NOT OTHERWISE NOTED, PROVIDE GYPSUM WALLBOARD ON INTERIOR SURFACES NAILED TO ALL STUDS, TOP AND BOTTOM PLATES AND BLOCKING WITH NAILS AT 7" O. C. USE 5D COOLER NAILS FOR 1/2" GWB AND 6D COOLER NAILS FOR 5/8" GWB. WHEN NOT OTHERWISE NOTED, PROVIDE 1/2" (NOM.) APA RATED SHEATHING (SPAN RATING 24/0) ON EXTERIOR SURFACES NAILED AT ALL PANEL EDGES (BLOCK UNSUPPORTED EDGES), TOP AND BOTTOM PLATES WITH 8D @ 6" O. C. AND TO ALL INTERMEDIATE STUDS AND BLOCKING WITH 8D @ 12" O. C. ALLOW 1/8" SPACING AT ALL PANEL EDGES AND ENDS.
- C. FLOOR AND ROOF FRAMING: PROVIDE DOUBLE JOISTS AROUND ALL OPENINGS IN FLOORS OR ROOFS UNLESS OTHERWISE NOTED. PROVIDE SOLID BLOCKING AT ALL BEARING POINTS. TOENAIL JOISTS TO SUPPORTS WITH TWO 16D NAILS. ATTACH TIMBER JOISTS TO FLUSH HEADERS OR BEAMS WITH METAL JOIST HANGERS IN ACCORDANCE WITH TIMBER CONNECTOR NOTE. NAIL ALL MULTI-JOIST BEAMS TOGETHER WITH 16D @ 12" O. C. STAGGERED. UNLESS OTHERWISE NOTED ON THE PLANS, ROOF AND FLOOR SHEATHING SHALL BE LAID UP WITH STRENGTH AXIS PERPENDICULAR TO SUPPORTS AND NAILED WITH 10D NAILS @ 6" O. C. TO FRAMED PANEL EDGES AND OVER STUD WALLS AS SHOWN ON PLANS AND @ 12" O. C. TO INTERMEDIATE SUPPORTS. PROVIDE APPROVED PLYWOOD EDGE CLIPS CENTERED BETWEEN JOISTS/TRUSSES AT UNBLOCKED ROOF SHEATHING EDGES. ALL FLOOR SHEATHING EDGES SHALL HAVE APPROVED TONGUE-AND-GROOVE JOINTS OR SHALL BE SUPPORTED WITH SOLID BLOCKING. ALLOW 1/8" SPACING AT ALL PANEL EDGES AND ENDS OF ALL ROOF AND FLOOR SHEATHING. TOENAIL BLOCKING TO SUPPORTS WITH 16D @ 12" O. C. UNLESS OTHERWISE NOTED. AT BLOCKED FLOOR AND ROOF DIAPHRAGMS PROVIDE FLAT 2X BLOCKING AT ALL UNFRAMED PLYWOOD PANEL EDGES AND NAIL WITH EDGE NAILING SPECIFIED.

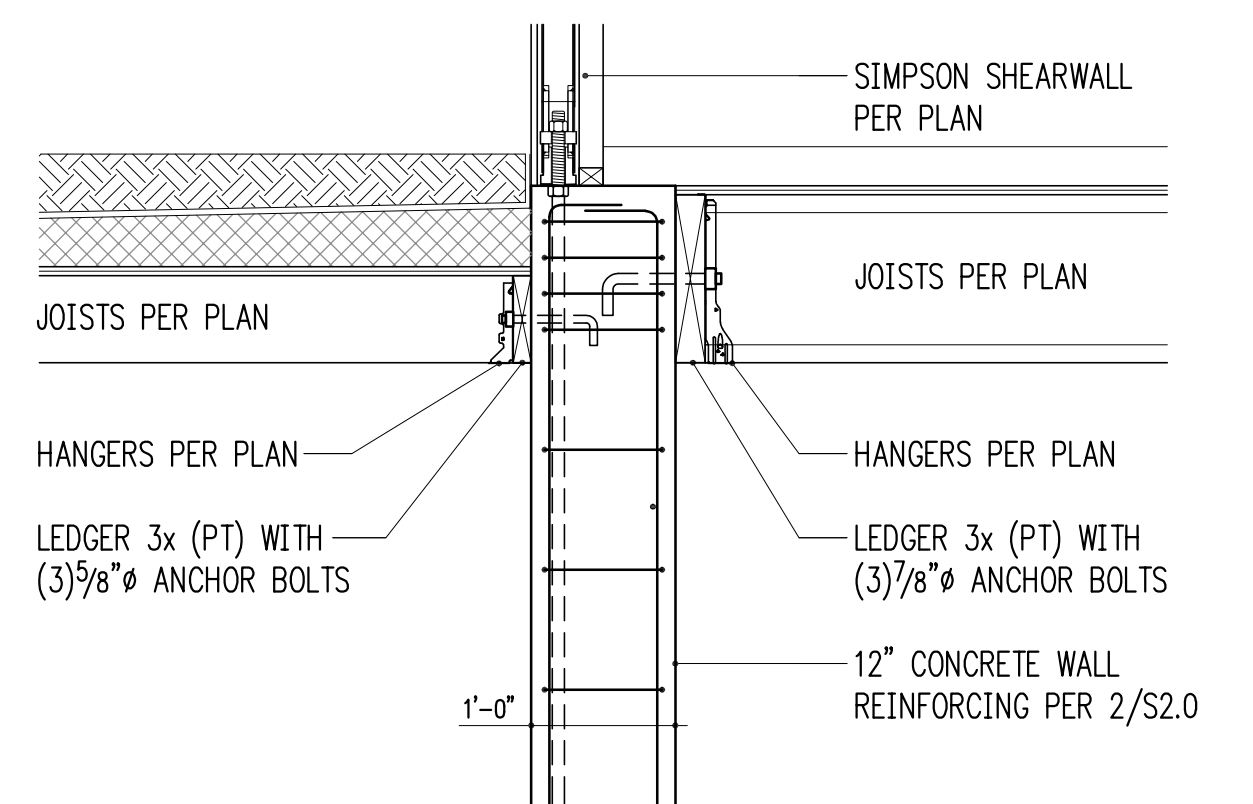
Sam + June  
Mercer Island  
3064 - 68th Avenue SE  
Mercer Island, WA

Issue Date	Issue Description
1/17/23	Permit
6/24/23	Building Revisions
8/7/23	Building Revisions(2)

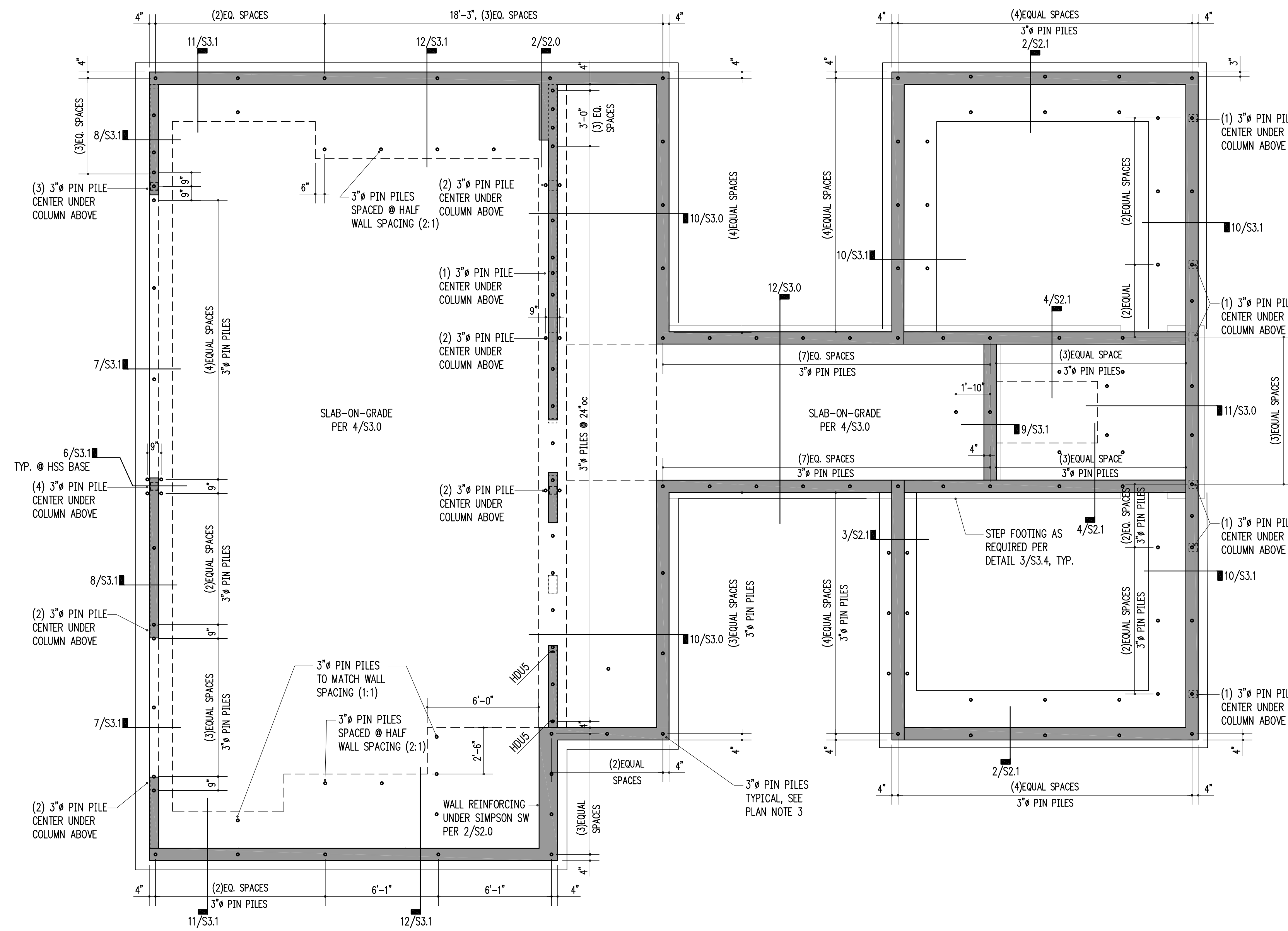
**S1.1**  
GENERAL STRUCTURAL  
NOTES



3/4" = 1'-0" 2



3/4" = 1'-0" 3



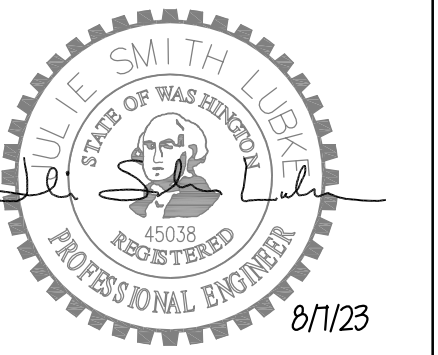
1 LOWER FOUNDATION PLAN  
scale: 1/4" = 1'-0"

FOUNDATION PLAN NOTES

- SEE 10/S3.2 FOR TYPICAL HOLDOWN REQUIREMENTS AT CONCRETE WALLS AND FOOTINGS.
- SLAB-ON-GRADE SHALL BE PLACED AND CURED FOR A MINIMUM OF SEVEN DAYS BEFORE RETAINING WALLS ARE BACKFILLED. SEE RETAINING WALL DETAILS FOR SPECIFIC CONFIGURATION.
- 2" PIN PILE SHALL BE INSTALLED PER GENERAL STRUCTURAL NOTES AND DETAIL 3/S3.0.

LEGEND

- SPAN
- EXTENT
- x/S3.0 SECTION DETAIL
- (FB) FLUSH BEAM
- (PT) PRESSURE-TREATED
- COLUMN ABOVE
- COLUMN BELOW
- HANGER PER SCHEDULE UNLESS NOTED OTHERWISE
- H/O ALL-THREAD HOLDOWN AT END OF SHEARWALL ABOVE
- C/S STRAP HOLDOWN AT END OF SHEARWALL ABOVE

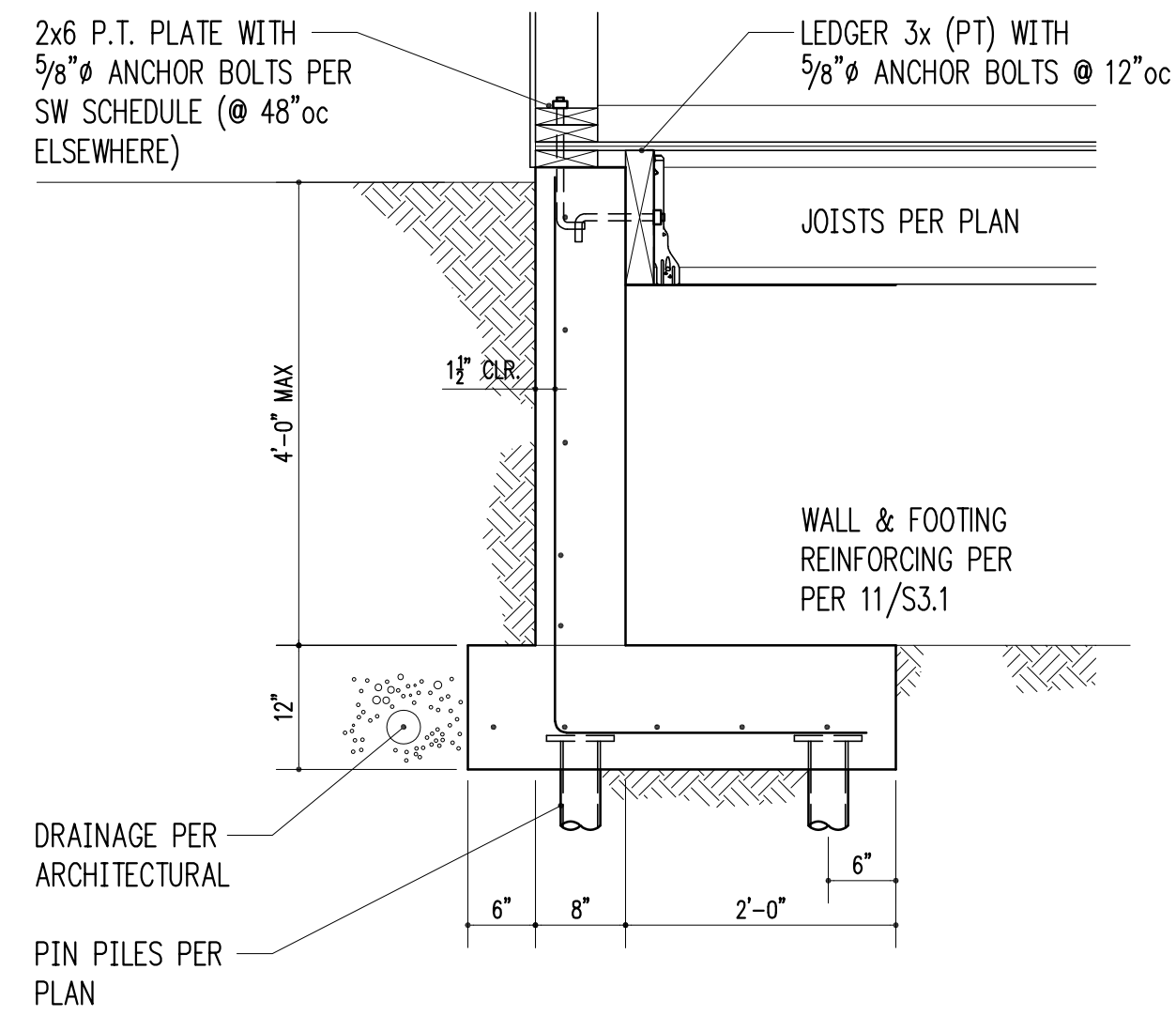


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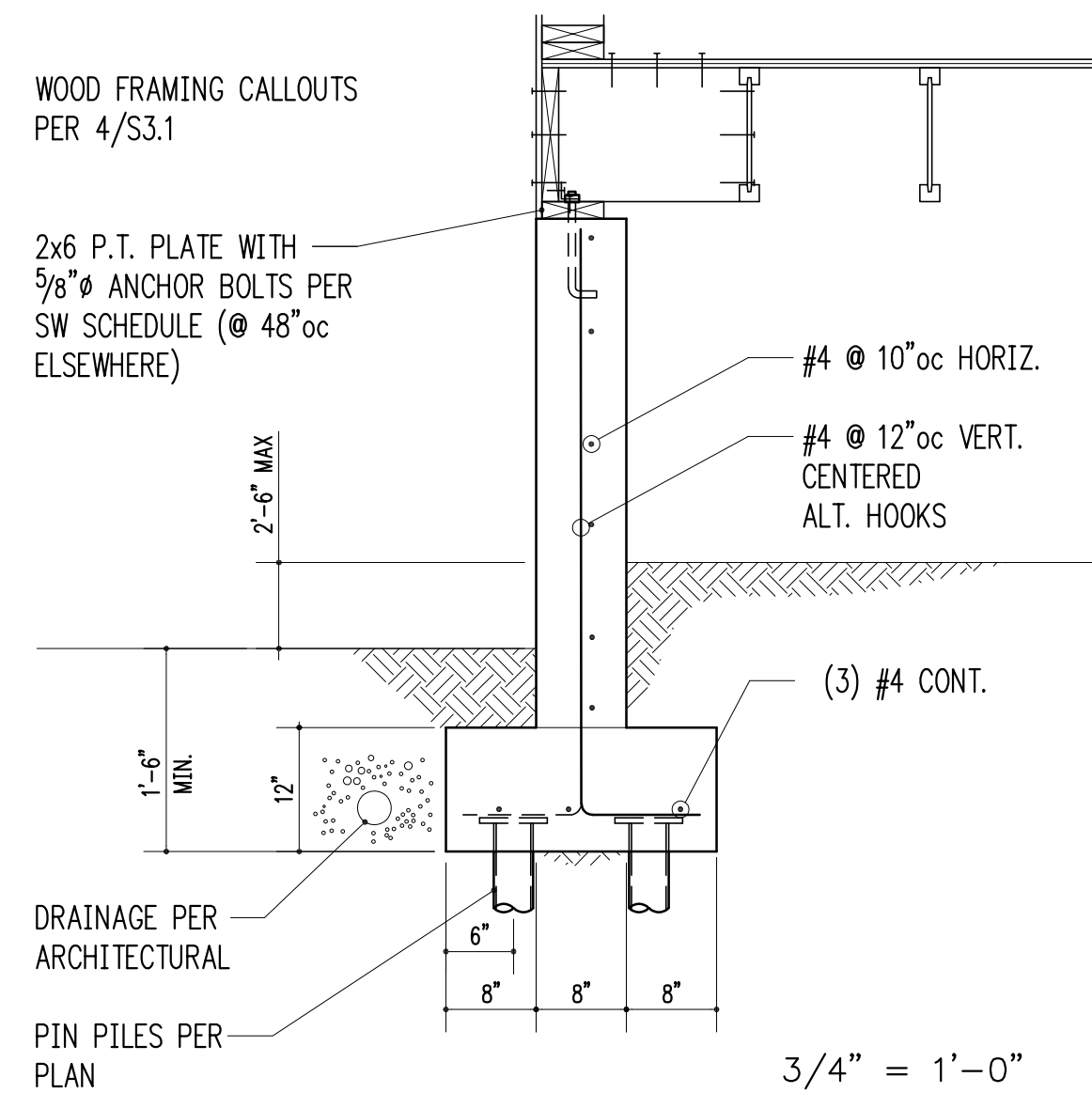
Issue Date	Issue Description
1/17/23	Permit
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**S2.0**  
LOWER FOUNDATION PLAN

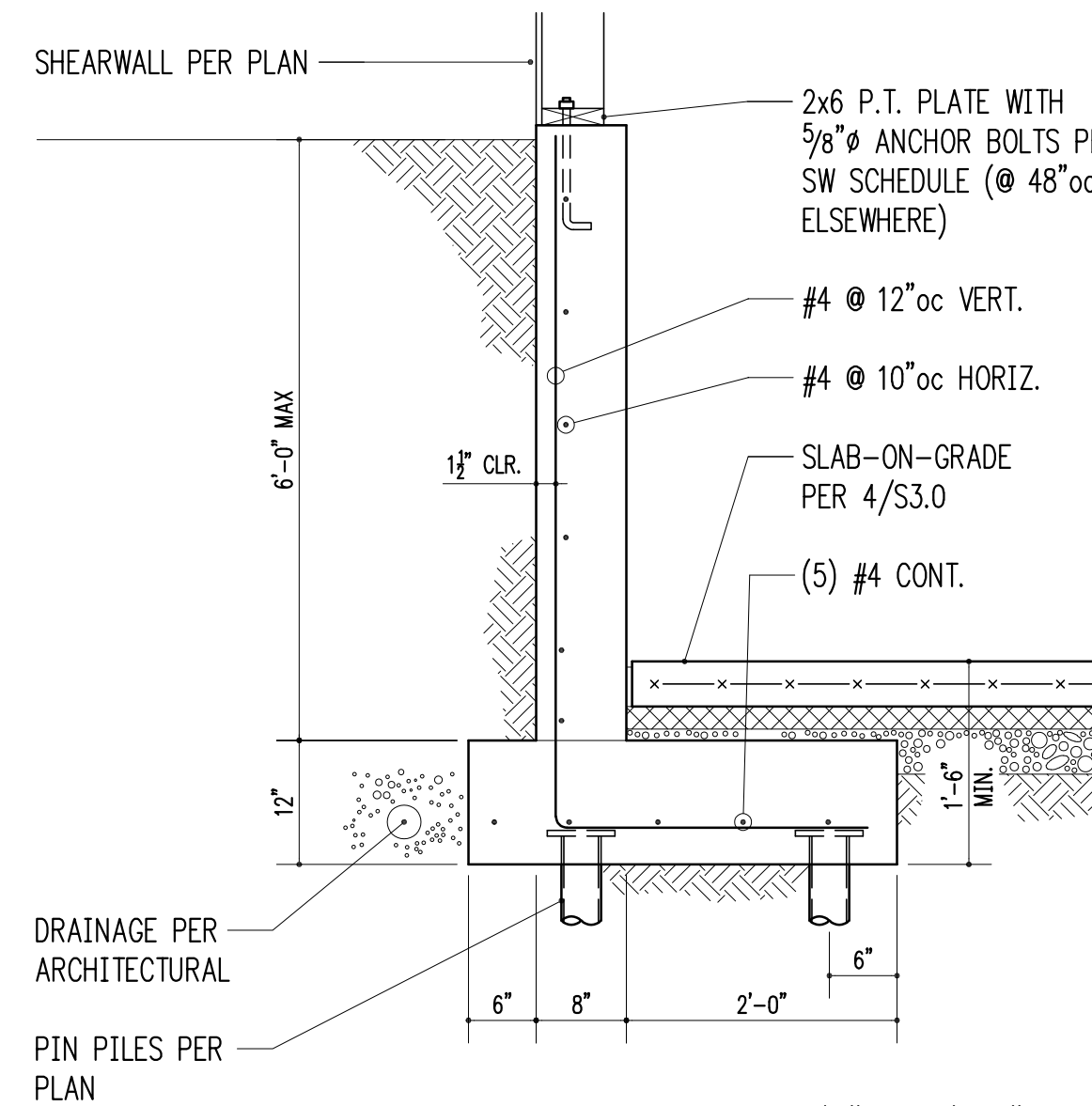




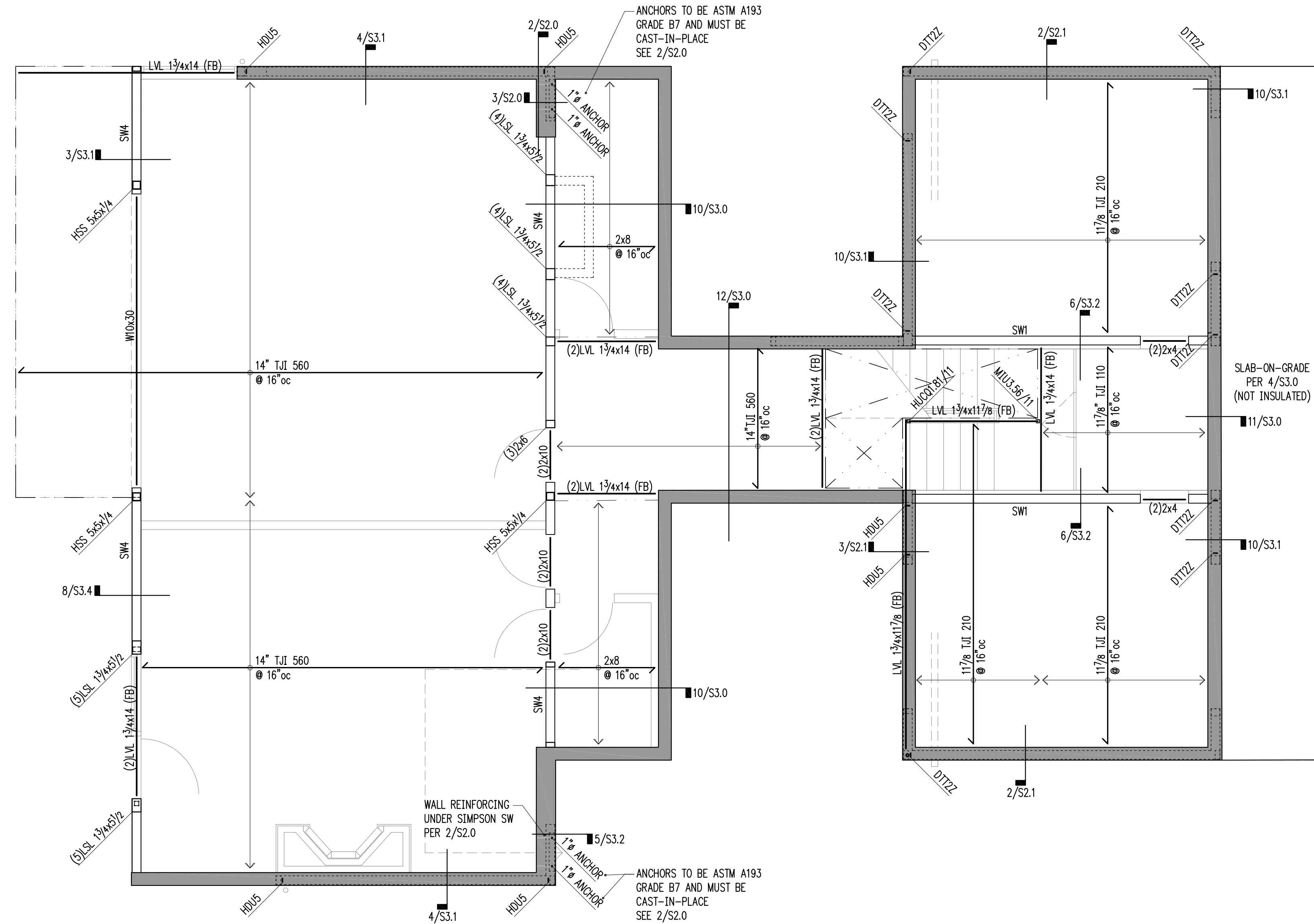
3/4" = 1'-0" 2



3/4" = 1'-0" 3



3/4" = 1'-0" 4



1 MAIN FLOOR FRAMING (BASEMENT/FOUNDATION WALLS)  
S2.1 scale: 1/4" = 1'-0"

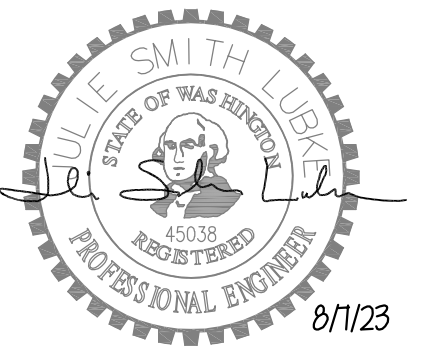
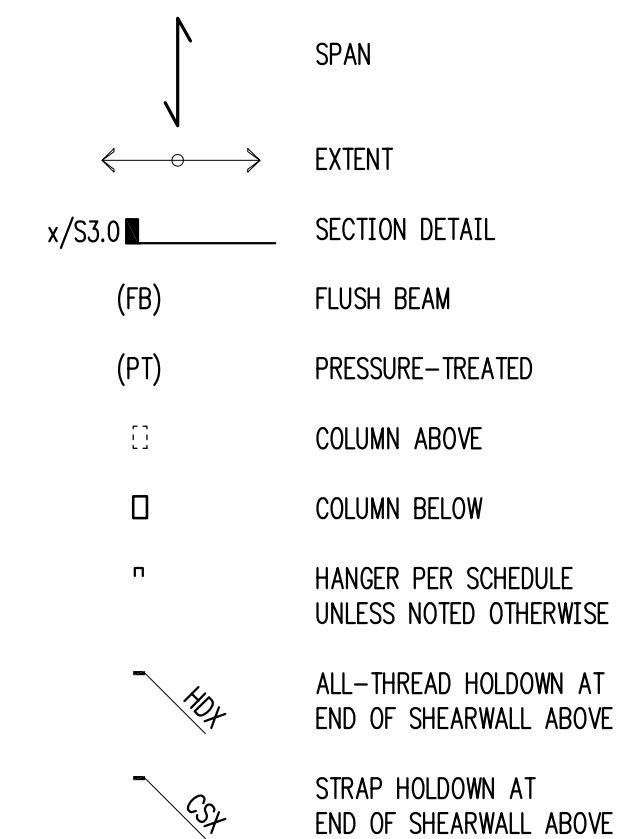
FRAMING PLAN NOTES

1. SW\_\_\_ INDICATES SHEARWALL TYPE PER SCHEDULE 8/S3.2. REFER TO DETAILS FOR TYPICAL SHEARWALL CONSTRUCTION. SEE ARCHITECTURAL DRAWINGS FOR ADDITIONAL WALL INFORMATION.
2. REFER TO GENERAL STRUCTURAL NOTES FOR FLOOR OR ROOF SHEATHING TYPE, THICKNESS, AND NAILING.
3. COLUMNS SHALL BE DOUBLE STUD MINIMUM, UNLESS NOTED OTHERWISE. SEE 11/S3.2.
4. AT ALL SHEARWALLS PROVIDE DOUBLE TOP PLATES AND SPLICE PER 12/S3.2.

HANGER SCHEDULE

MEMBER (FLAT ONLY)	HANGER	FACE NAILING	MEMBER FASTENERS	WEB STIFF REQUIRED
2x8	LU28	8-10d x 1 1/2	6-10d x 1 1/2	-
LVL 1 1/2x9 1/2	HUS1.81/10	30-10d x 1 1/2	10-10d	-
LVL 1 1/2x11 7/8	HUS1.81/10	30-10d x 1 1/2	10-10d	-
LVL 1 1/2x14	HUS1.81/10	30-10d x 1 1/2	10-10d	-
(2)LVL 1 1/2x14	U414	16-0.162 x 3 1/2	6-0.148 x 3	YES
9 1/2" TJI 110	IUS1.81/9.5	8-10d x 1.5	2-STRONG GRIP	-
11 7/8" TJI 210	IUS2.06/11.88	10-10d x 1.5	2-STRONG GRIP	-
14" TJI 110	IUS1.81/14	12-10d x 1.5	2-STRONG GRIP	-
14" TJI 360	IUS2.37/14	12-10d x 1.5	2-STRONG GRIP	-
14" TJI 560	MIU3.56/14	22-10d x 1.5	2-10d x 1.5	YES
4x16	CJT5Z	10-1/4"x3" SDS	(5) 1/2" x 2 3/4" LONG JOIST PINS	-

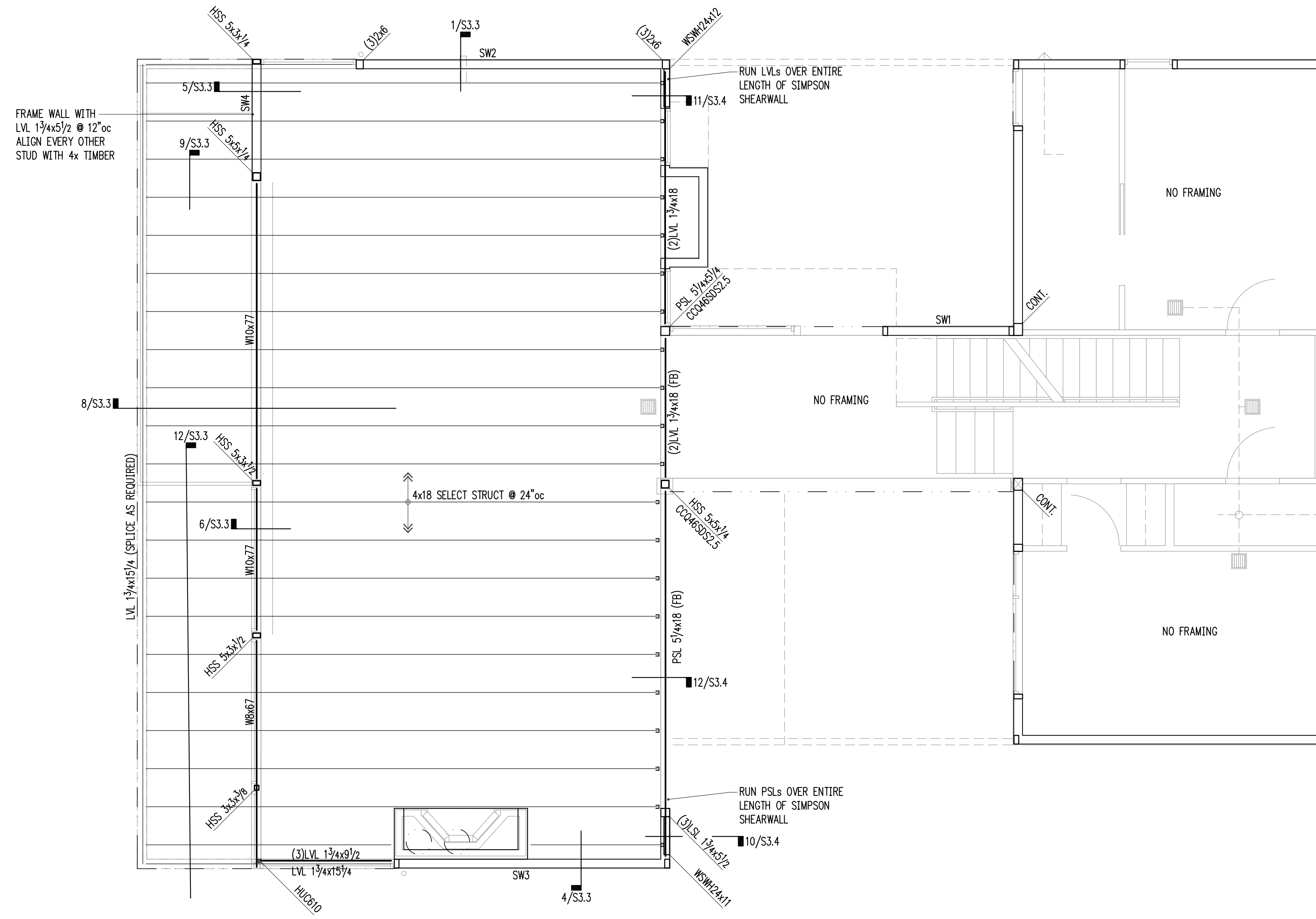
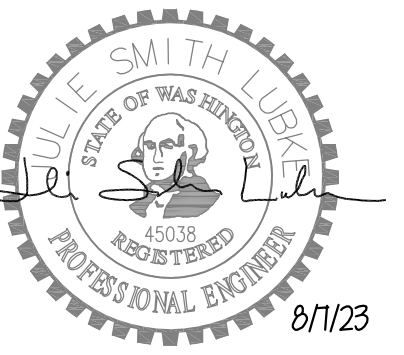
LEGEND



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**S2.1**  
MAIN FLOOR FRAMING PLAN



SHADED WALLS ARE CONTINUOUS AT THIS LEVEL, FRAME TO RECEIVE TJI FRAMING ABOVE

1 S2.2 MAIN FLOOR CEILING FRAMING PLAN (MAIN FLOOR WALLS)  
scale: 1/4" = 1'-0"

**FRAMING PLAN NOTES**

- SW\_\_\_ INDICATES SHEARWALL TYPE PER SCHEDULE 8/S3.2. REFER TO DETAILS FOR TYPICAL SHEARWALL CONSTRUCTION. SEE ARCHITECTURAL DRAWINGS FOR ADDITIONAL WALL INFORMATION.
- REFER TO GENERAL STRUCTURAL NOTES FOR FLOOR OR ROOF SHEATHING TYPE, THICKNESS, AND NAILING.
- COLUMNS SHALL BE DOUBLE STUD MINIMUM, UNLESS NOTED OTHERWISE. SEE 11/S3.2.
- AT ALL SHEARWALLS PROVIDE DOUBLE TOP PLATES AND SPLICE PER 12/S3.2.

**HANGER SCHEDULE**

MEMBER (FLAT ONLY)	HANGER	FACE NAILING	MEMBER FASTENERS	WEB STIFF REQUIRED
2x8	LU28	8-10d x 1 1/2	6-10d x 1 1/2	-
LVL 1 3/4 x 9 1/2	HUS1.81/10	30-10d x 1 1/2	10-10d	-
LVL 1 3/4 x 11 7/8	HUS1.81/10	30-10d x 1 1/2	10-10d	-
LVL 1 3/4 x 14	HUS1.81/10	30-10d x 1 1/2	10-10d	-
(2)LVL 1 3/4 x 14	U414	16-0.162 x 3 1/2	6-0.148 x 3	YES
9 1/2" TJI 110	IUS1.81/9.5	8-10dx1.5	2-STRONG GRIP	-
11 7/8" TJI 210	IUS2.06/11.88	10-10dx1.5	2-STRONG GRIP	-
14" TJI 110	IUS1.81/14	12-10dx1.5	2-STRONG GRIP	-
14" TJI 360	IUS2.37/14	12-10dx1.5	2-STRONG GRIP	-
14" TJI 560	MIUS.56/14	22-10dx1.5	2-10dx1.5	YES
4x16	CJT5Z	10-1/4"x3" SDS	(5) 1/2" x 2 3/4" LONG JOIST PINS	-

SIDE OF BLANK TO PLATE

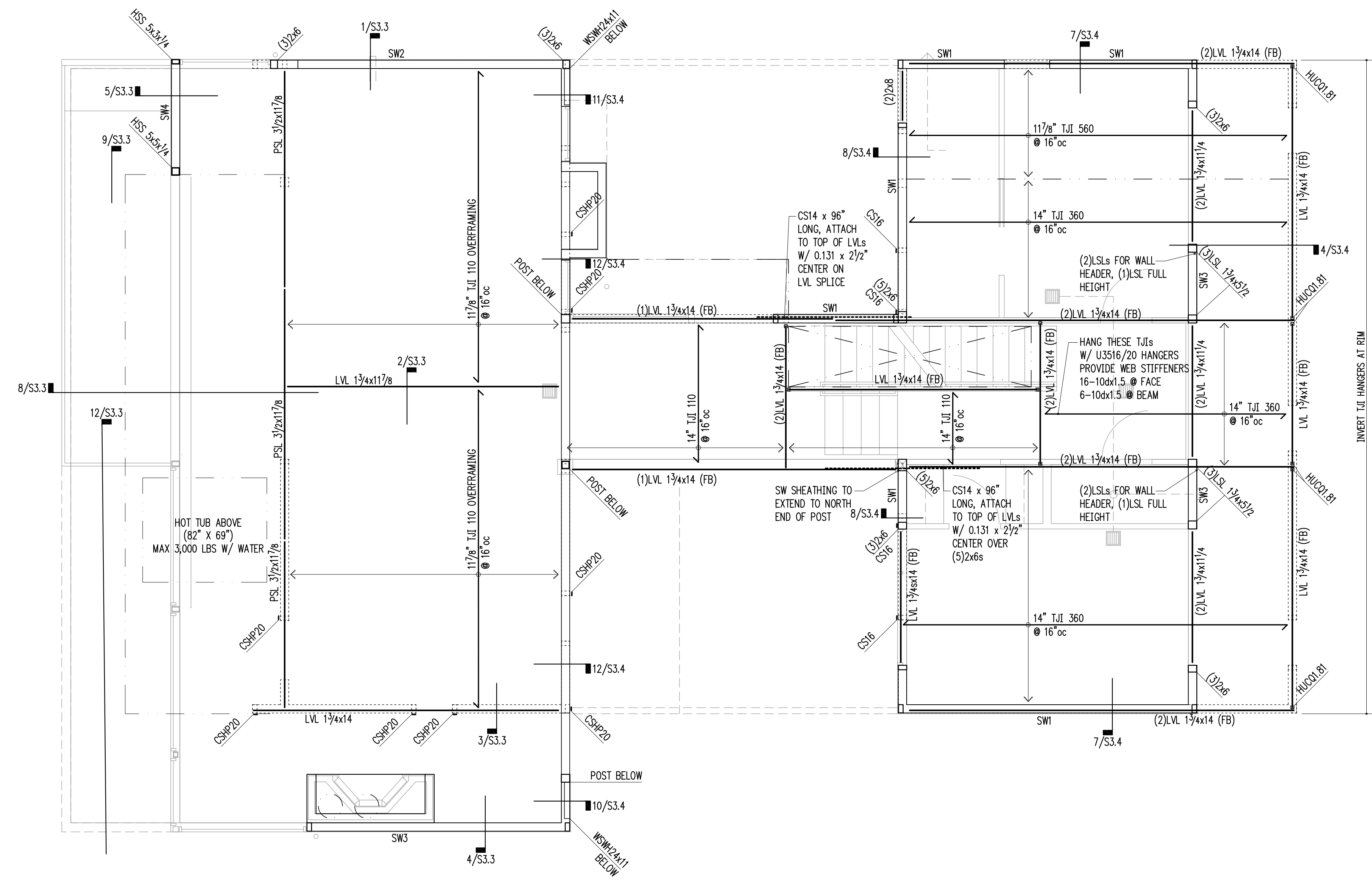
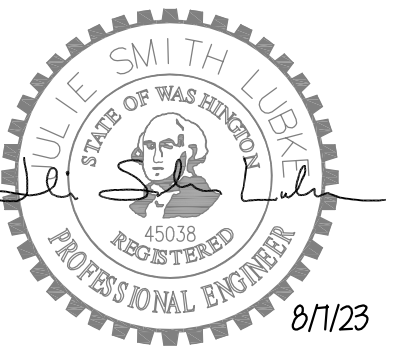
**LEGEND**

- SPAN
- EXTENT
- SECTION DETAIL
- FLUSH BEAM
- PRESSURE-TREATED
- COLUMN ABOVE
- COLUMN BELOW
- HANGER PER SCHEDULE UNLESS NOTED OTHERWISE
- ALL-THREAD HOLDOWN AT END OF SHEARWALL ABOVE
- STRAP HOLDOWN AT END OF SHEARWALL ABOVE

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**S2.2**  
MAIN FLOOR CEILING FRAMING PLAN



1 UPPER FLOOR FRAMING PLAN (MAIN FLOOR WALLS)  
S2.3 scale: 1/4" = 1'-0"

**FRAMING PLAN NOTES**

- SW\_\_\_ INDICATES SHEARWALL TYPE PER SCHEDULE 8/S3.2. REFER TO DETAILS FOR TYPICAL SHEARWALL CONSTRUCTION. SEE ARCHITECTURAL DRAWINGS FOR ADDITIONAL WALL INFORMATION.
- REFER TO GENERAL STRUCTURAL NOTES FOR FLOOR OR ROOF SHEATHING TYPE, THICKNESS, AND NAILING.
- COLUMNS SHALL BE DOUBLE STUD MINIMUM, UNLESS NOTED OTHERWISE. SEE 11/S3.2.
- AT ALL SHEARWALLS PROVIDE DOUBLE TOP PLATES AND SPLICE PER 12/S3.2.

**HANGER SCHEDULE**

MEMBER (FLAT ONLY)	HANGER	FACE NAILING	MEMBER FASTENERS	WEB STIFF REQUIRED
2x8	LU28	8-10d x 1 1/2	6-10d x 1 1/2	-
LVL 1 3/4x9 1/2	HUS1.81/10	30-10d x 1 1/2	10-10d	-
LVL 1 3/4x11 7/8	HUS1.81/10	30-10d x 1 1/2	10-10d	-
LVL 1 3/4x14	HUS1.81/10	30-10d x 1 1/2	10-10d	-
(2)LVL 1 3/4x14	U414	16-0.162 x 3/2	6-0.148 x 3	YES
9 1/2" TJI 110	IUS1.81/9.5	8-10dx1.5	2-STRONG GRIP	-
11 7/8" TJI 210	IUS2.06/11.88	10-10dx1.5	2-STRONG GRIP	-
14" TJI 110	IUS1.81/14	12-10dx1.5	2-STRONG GRIP	-
14" TJI 360	IUS2.37/14	12-10dx1.5	2-STRONG GRIP	-
14" TJI 560	MIUS.56/14	22-10dx1.5	2-10dx1.5	YES
4x16	CJT5Z	10-1/4"x3" SDS	(5) 1/2" x 2 3/4" LONG JOIST PINS	-

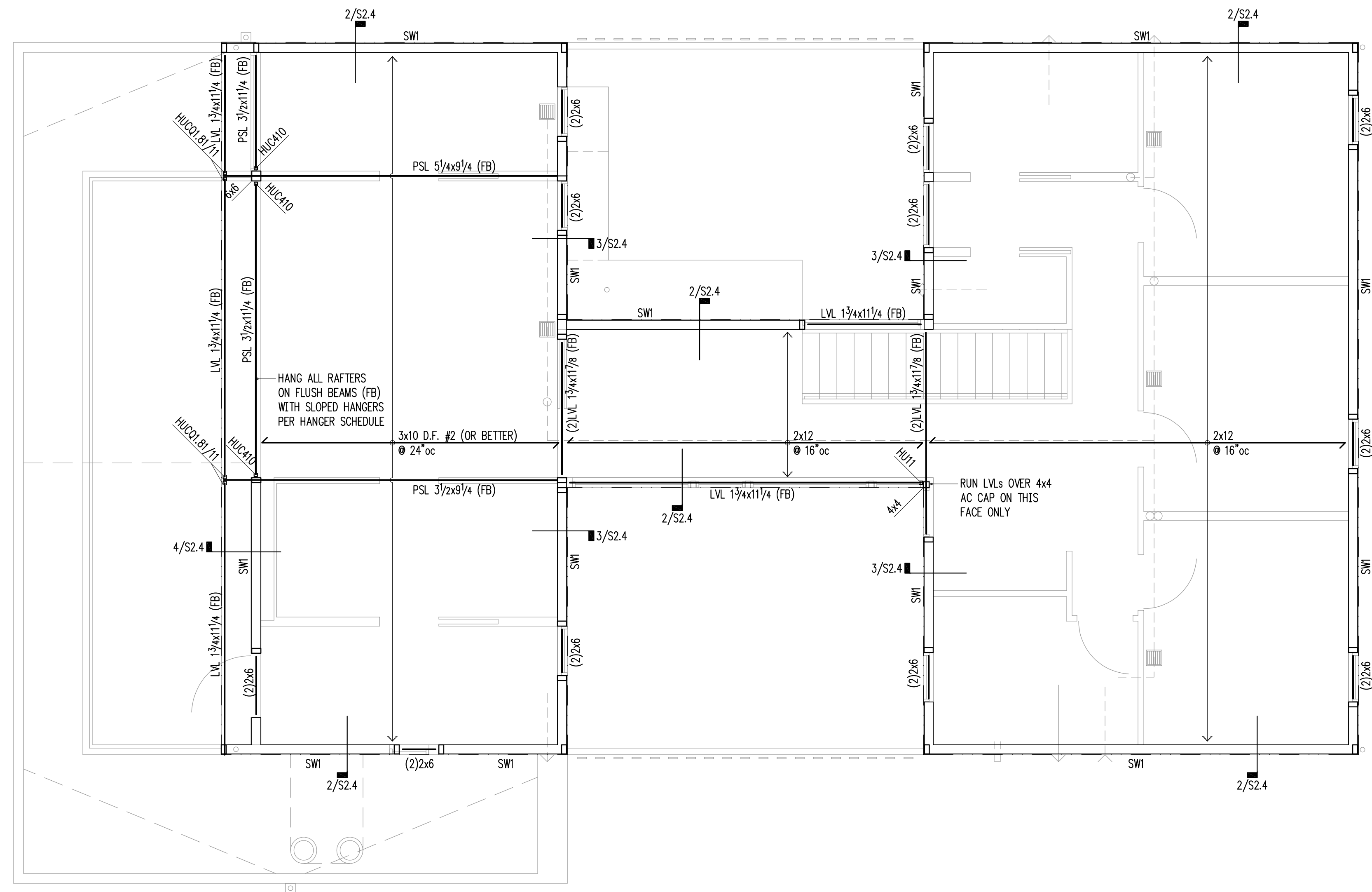
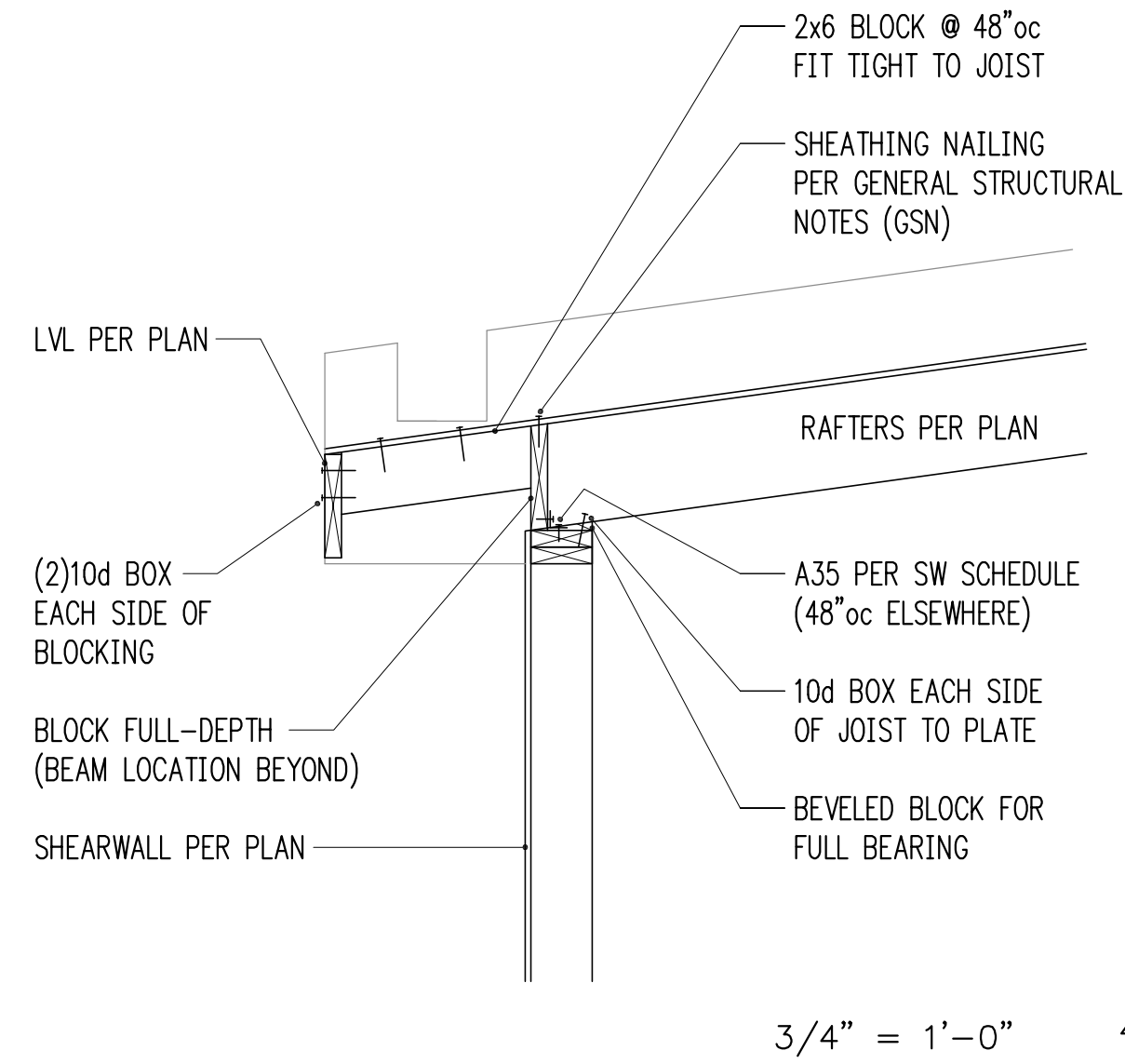
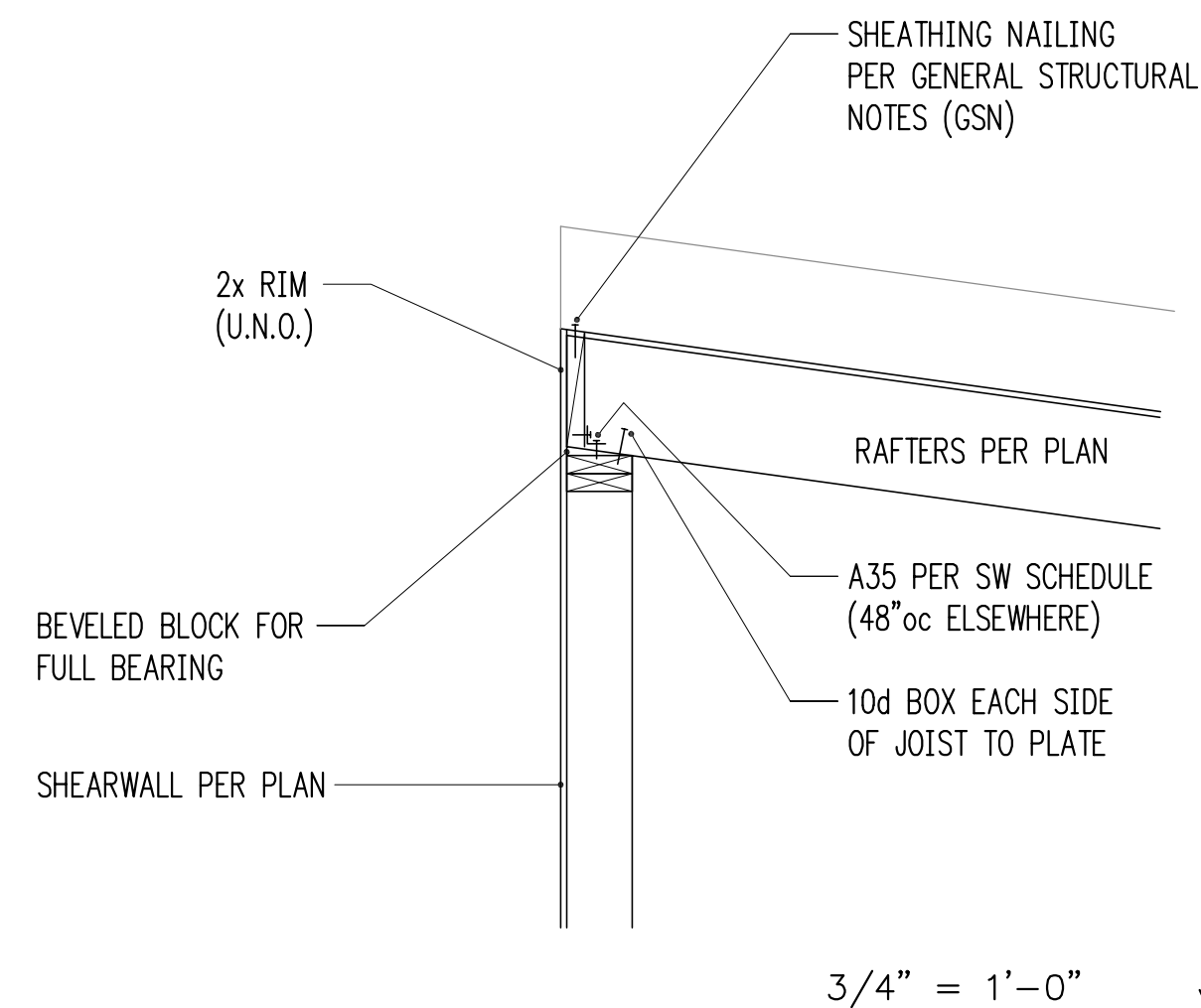
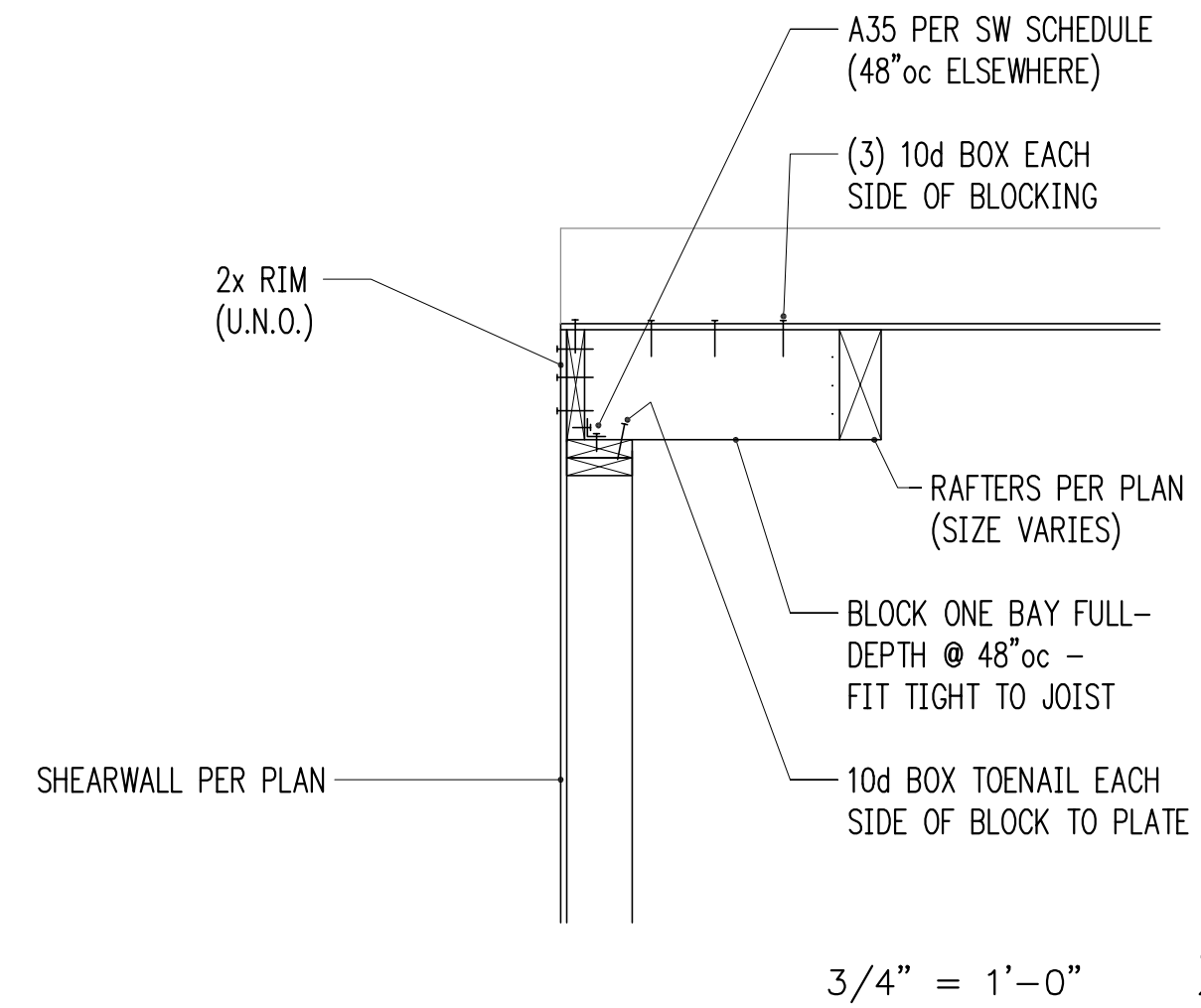
**LEGEND**

- SPAN
- EXTENT
- x/S3.0 SECTION DETAIL
- (FB) FLUSH BEAM
- (PT) PRESSURE-TREATED
- COLUMN ABOVE
- COLUMN BELOW
- h HANGER PER SCHEDULE UNLESS NOTED OTHERWISE
- HOX ALL-THREAD HOLDDOWN AT END OF SHEARWALL ABOVE
- CSX STRAP HOLDDOWN AT END OF SHEARWALL ABOVE

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**S2.3**  
UPPER FLOOR FRAMING PLAN



1 ROOF FRAMING PLAN (UPPER FLOOR WALLS)  
scale: 1/4" = 1'-0"

**FRAMING PLAN NOTES**

- SW\_\_\_ INDICATES SHEARWALL TYPE PER SCHEDULE 8/S3.2. REFER TO DETAILS FOR TYPICAL SHEARWALL CONSTRUCTION. SEE ARCHITECTURAL DRAWINGS FOR ADDITIONAL WALL INFORMATION.
- REFER TO GENERAL STRUCTURAL NOTES FOR FLOOR OR ROOF SHEATHING TYPE, THICKNESS, AND NAILING.
- COLUMNS SHALL BE DOUBLE STUD MINIMUM, UNLESS NOTED OTHERWISE. SEE 11/S3.2.
- AT ALL SHEARWALLS PROVIDE DOUBLE TOP PLATES AND SPLICE PER 12/S3.2.

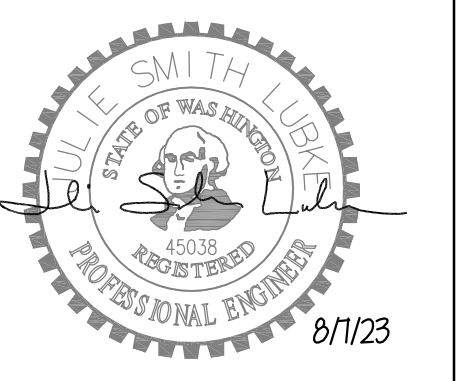
**HANGER SCHEDULE**

MEMBER (FLAT ONLY)	HANGER	FACE NAILING	MEMBER FASTENERS	WEB STIFF REQUIRED
2x8	LU28	8-10d x 1 1/2	6-10d x 1 1/2	-
LVL 1 3/4x9 1/2	HUS1.81/10	30-10d x 1 1/2	10-10d	-
LVL 1 3/4x11 1/8	HUS1.81/10	30-10d x 1 1/2	10-10d	-
LVL 1 3/4x14	HUS1.81/10	30-10d x 1 1/2	10-10d	-
(2)LVL 1 3/4x14	U414	16-0.162 x 3/2	6-0.148 x 3	YES
9/2" TJI 110	IUS1.81/9.5	8-10dx1.5	2-STRONG GRIP	-
11/8" TJI 210	IUS2.06/11.88	10-10dx1.5	2-STRONG GRIP	-
14" TJI 110	IUS1.81/14	12-10dx1.5	2-STRONG GRIP	-
14" TJI 360	IUS2.37/14	12-10dx1.5	2-STRONG GRIP	-
14" TJI 560	MIU3.56/14	22-10dx1.5	2-10dx1.5	YES
4x16	CJT5Z	10-1/4"x3" SDS	(5) 1/2" x 2 3/4" LONG JOIST PINS	-

MEMBER (SLOPED ONLY)	HANGER	FACE NAILING	MEMBER FASTENERS	WEB STIFF REQUIRED
2x12	U210	10-0.162 x 3/2	6-0.148 x 1/2	-
3x10	U310	14-0.162 x 3/2	6-0.148 x 1/2	-

**LEGEND**

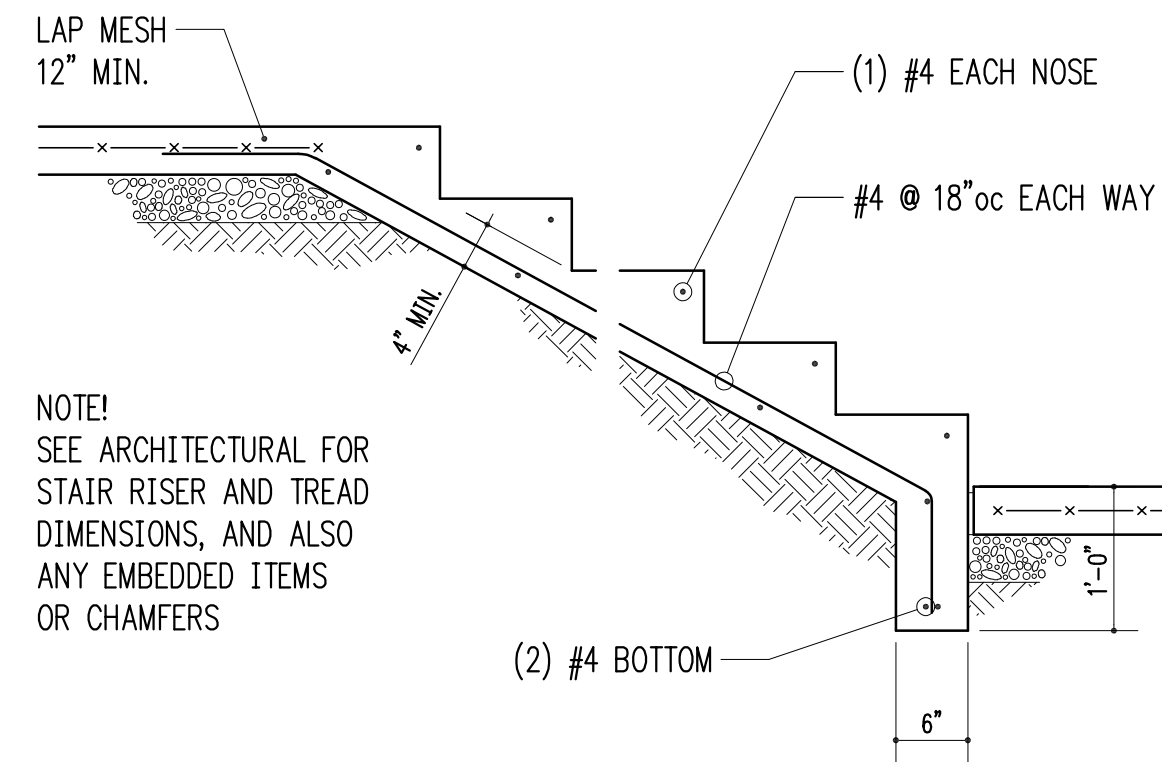
- SPAN
- EXTENT
- SECTION DETAIL
- (FB) FLUSH BEAM
- (PT) PRESSURE-TREATED
- COLUMN ABOVE
- COLUMN BELOW
- ⌢ HANGER PER SCHEDULE UNLESS NOTED OTHERWISE
- ALL-THREAD HOLDDOWN AT END OF SHEARWALL ABOVE
- STRAP HOLDDOWN AT END OF SHEARWALL ABOVE



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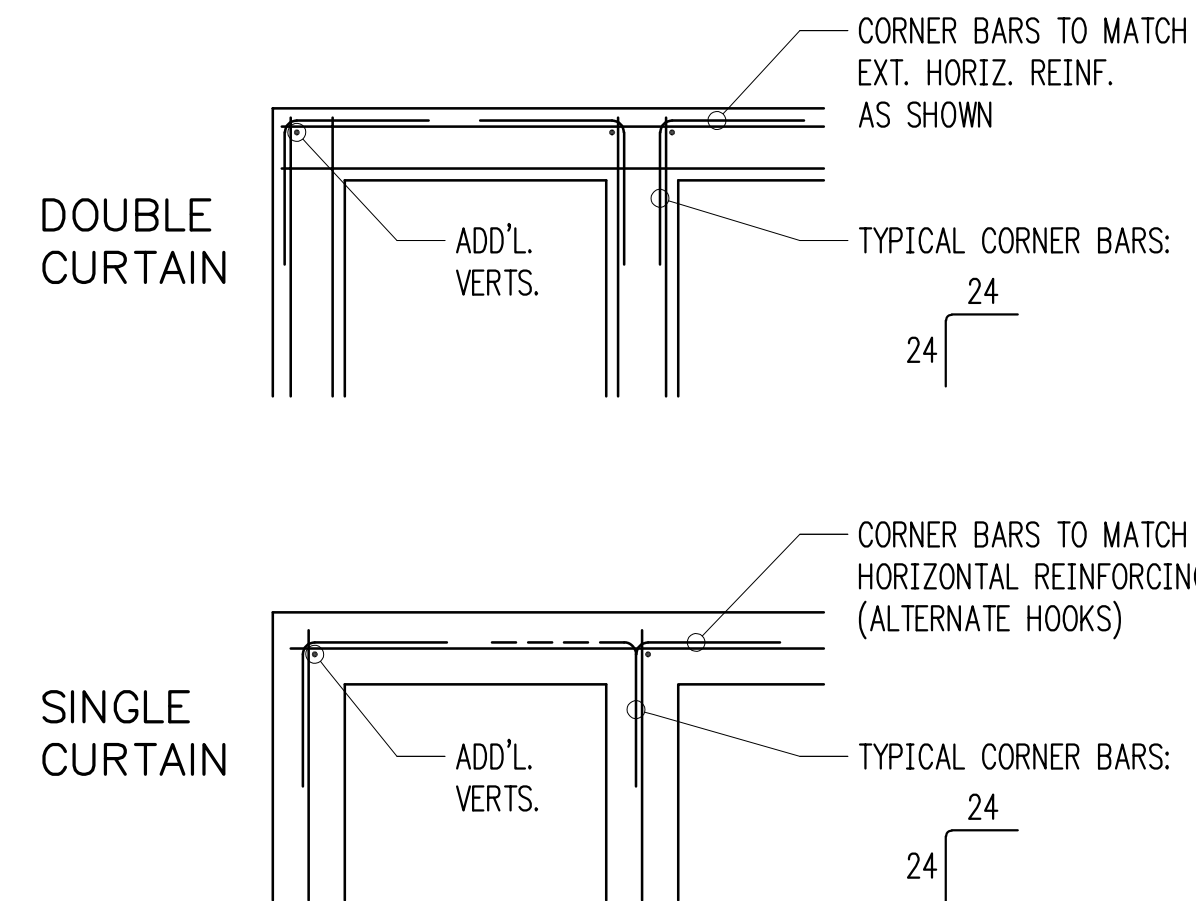
Issue Date	Issue Description
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**S2.4**  
ROOF FRAMING PLAN

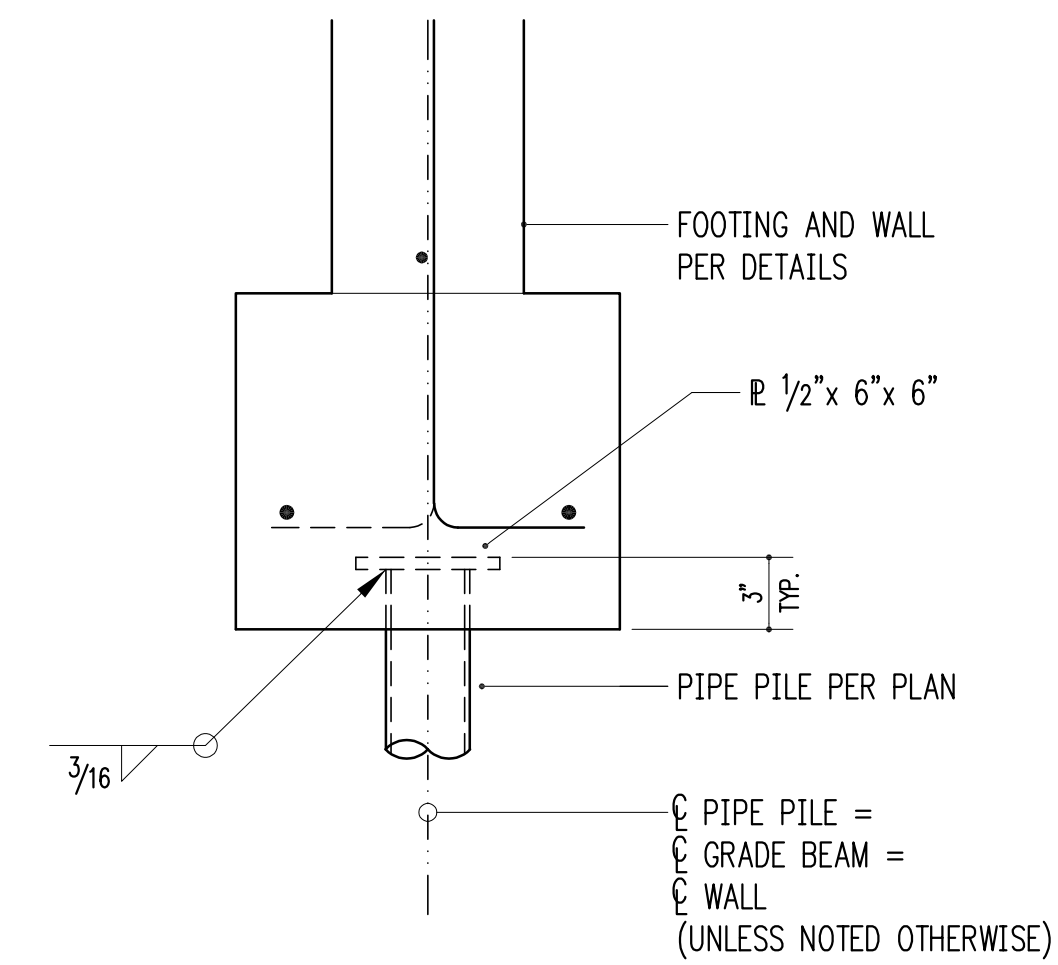


NOTE!  
SEE ARCHITECTURAL FOR  
STAIR RISER AND TREAD  
DIMENSIONS, AND ALSO  
ANY EMBEDDED ITEMS  
OR CHAMFERS

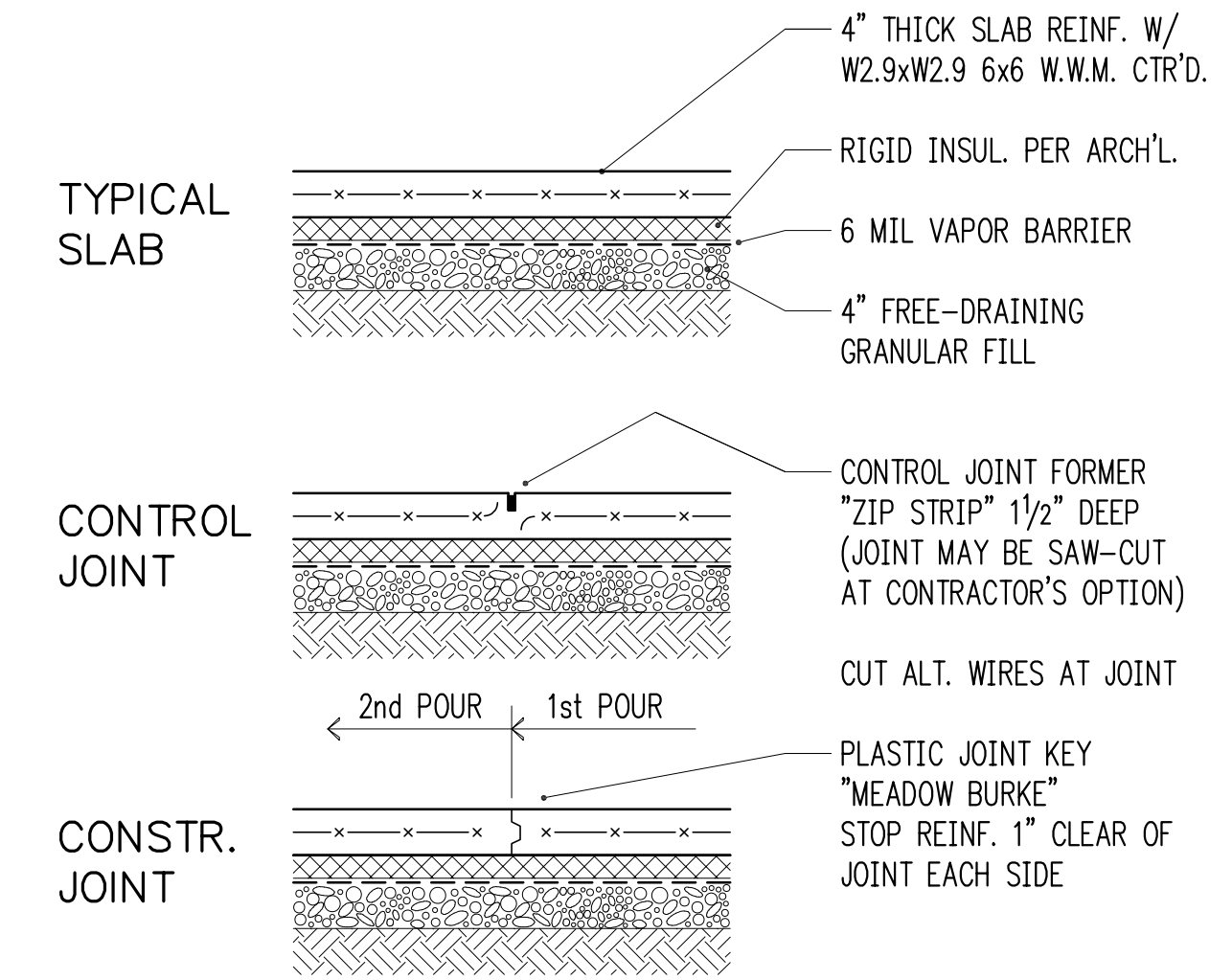
TYPICAL STAIR-ON-GRADE  
3/4" = 1'-0" 1



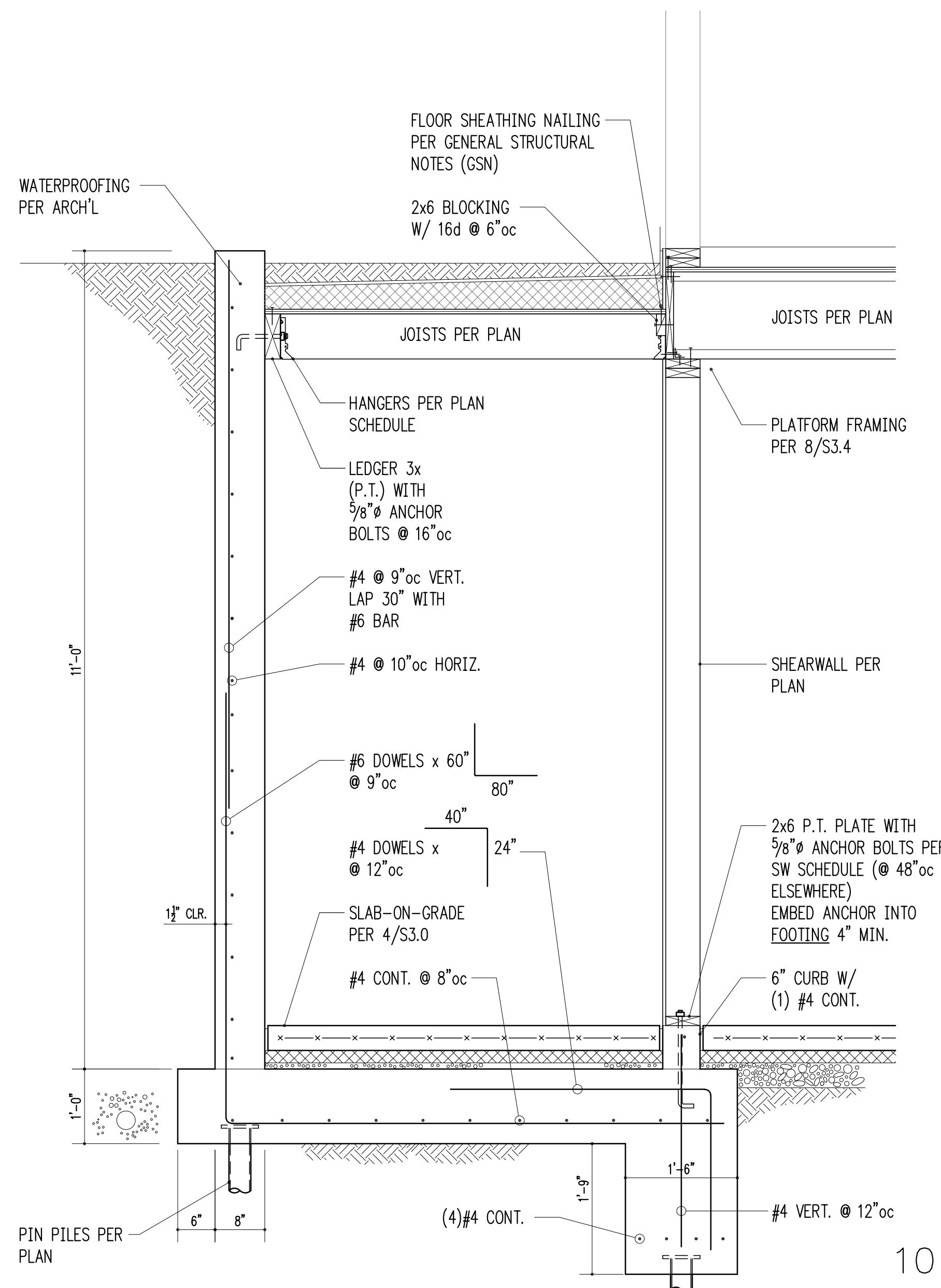
TYPICAL CORNER BARS AT CONCRETE WALLS  
3/4" = 1'-0" 2



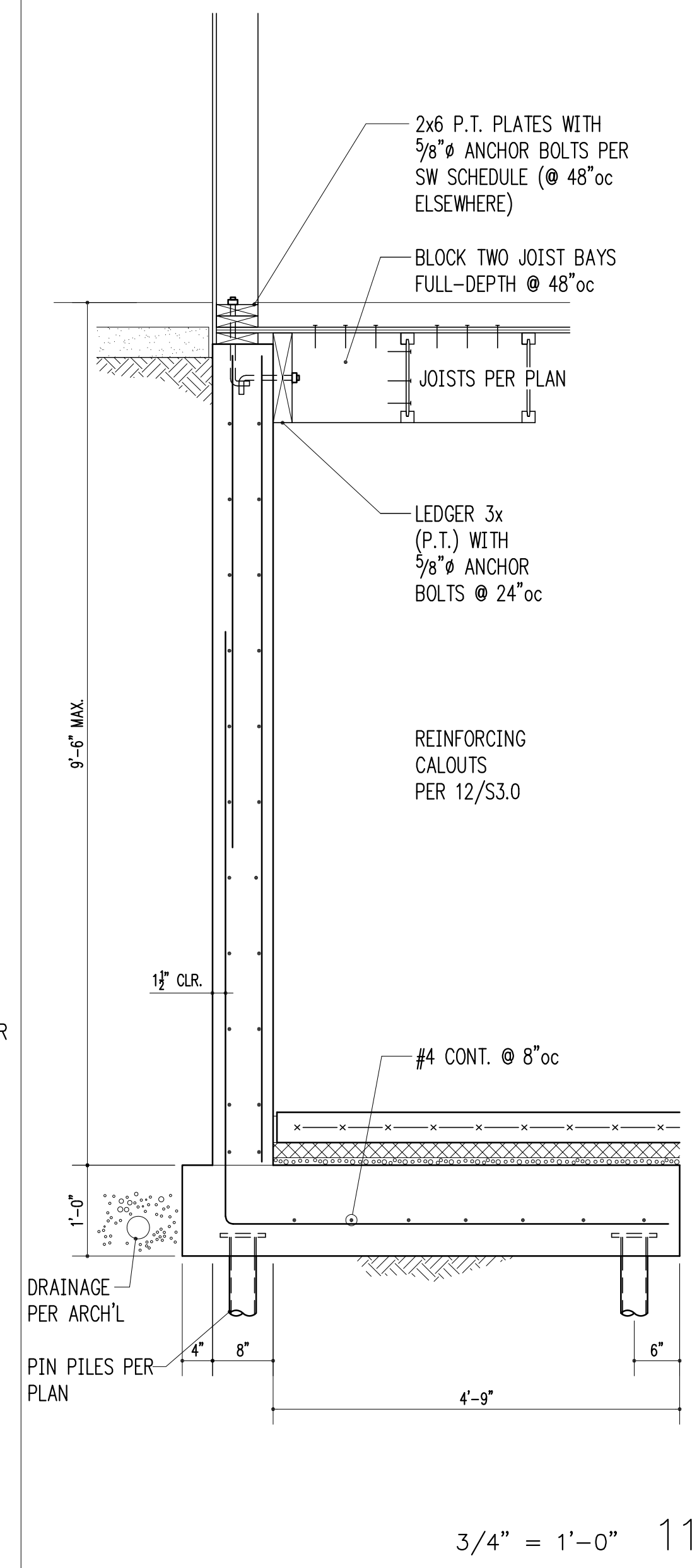
TYPICAL PIPE PILE EMBEDMENT  
1-1/2" = 1'-0" 3



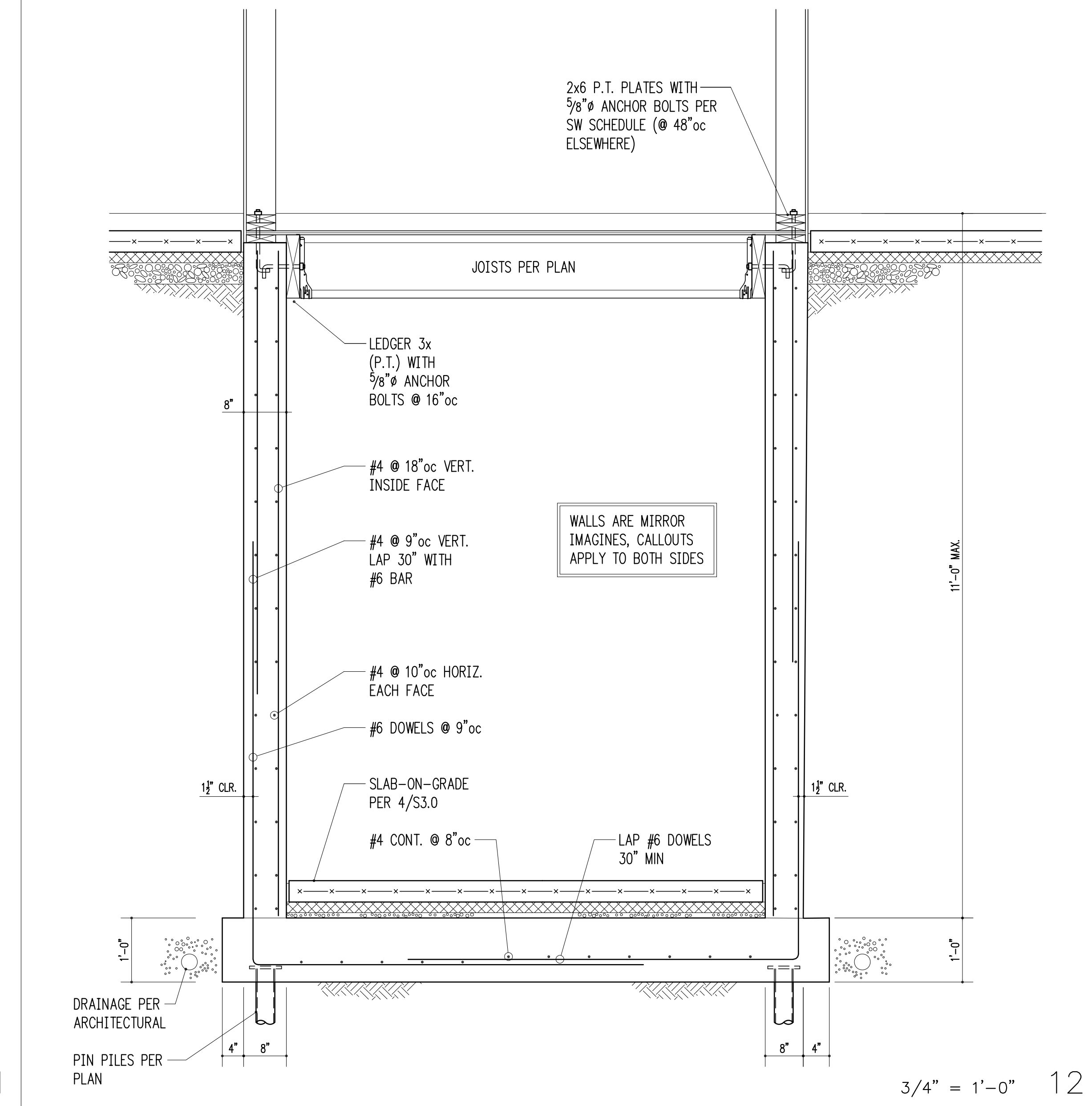
SLAB-ON-GRADE (INSULATED)  
3/4" = 1'-0" 4



10



3/4" = 1'-0" 11



3/4" = 1'-0" 12

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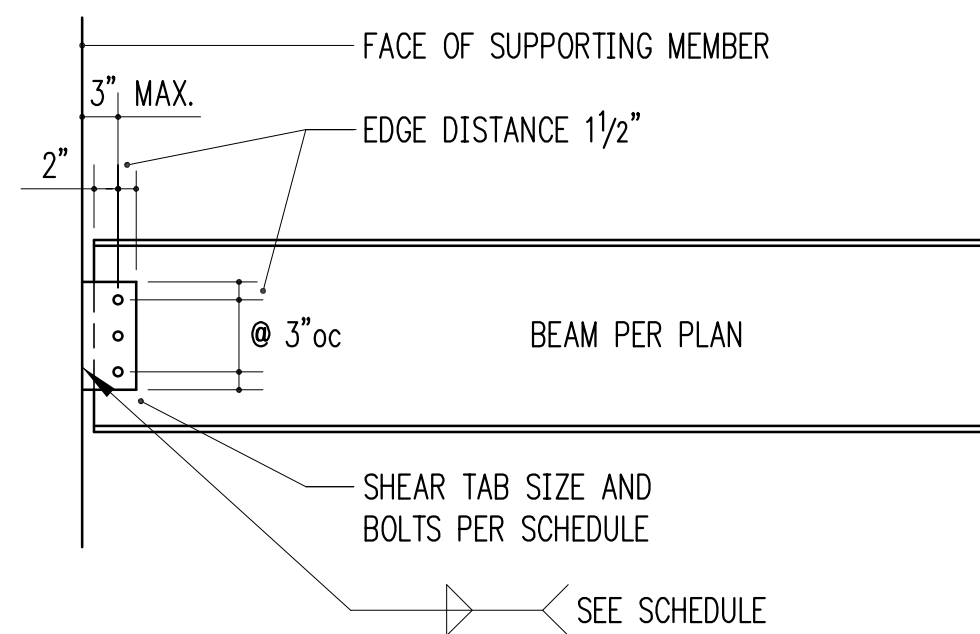
Issue Date	Issue Description
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**S3.0**  
STRUCTURAL DETAILS

**SHEAR TAB SCHEDULE**

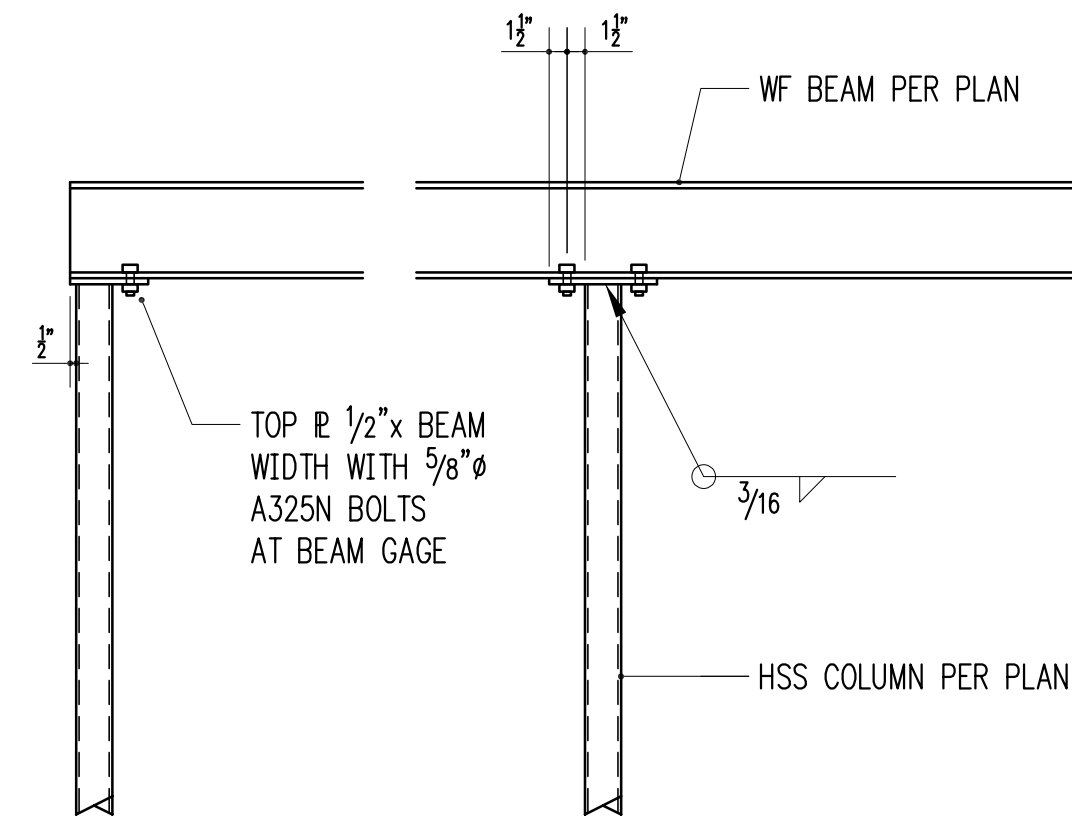
BEAM SIZE	# BOLTS	BOLT SIZE	R THICK.	WELD SIZE	CAPACITY
W8, W10	(2)	3/4"Ø	1/4"	3/16"	8,200 lb

BOLT TYPE SHALL BE A325N. PLATE MATERIAL SHALL BE A36.



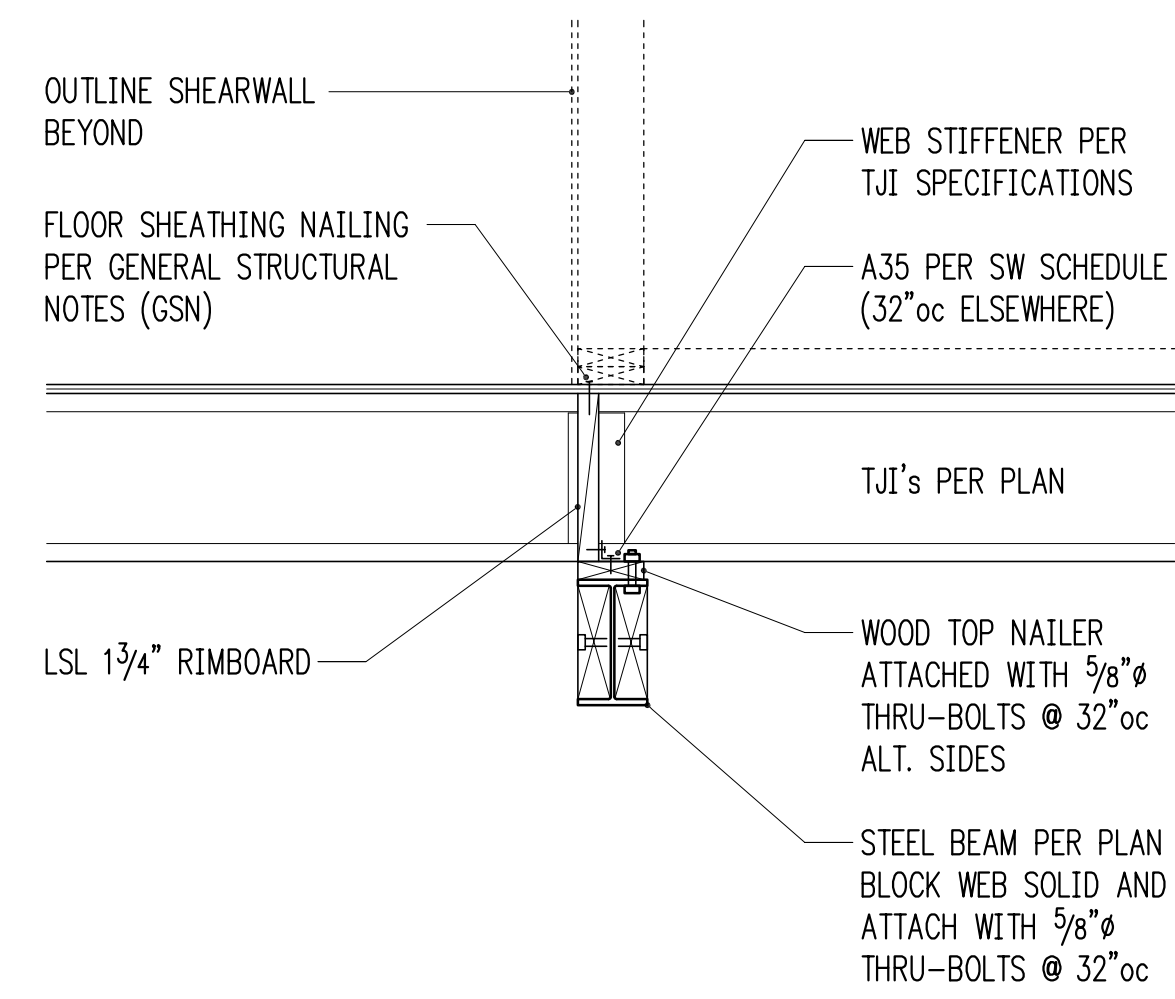
TYPICAL SHEAR TAB CONNECTION

3/4" = 1'-0" 1

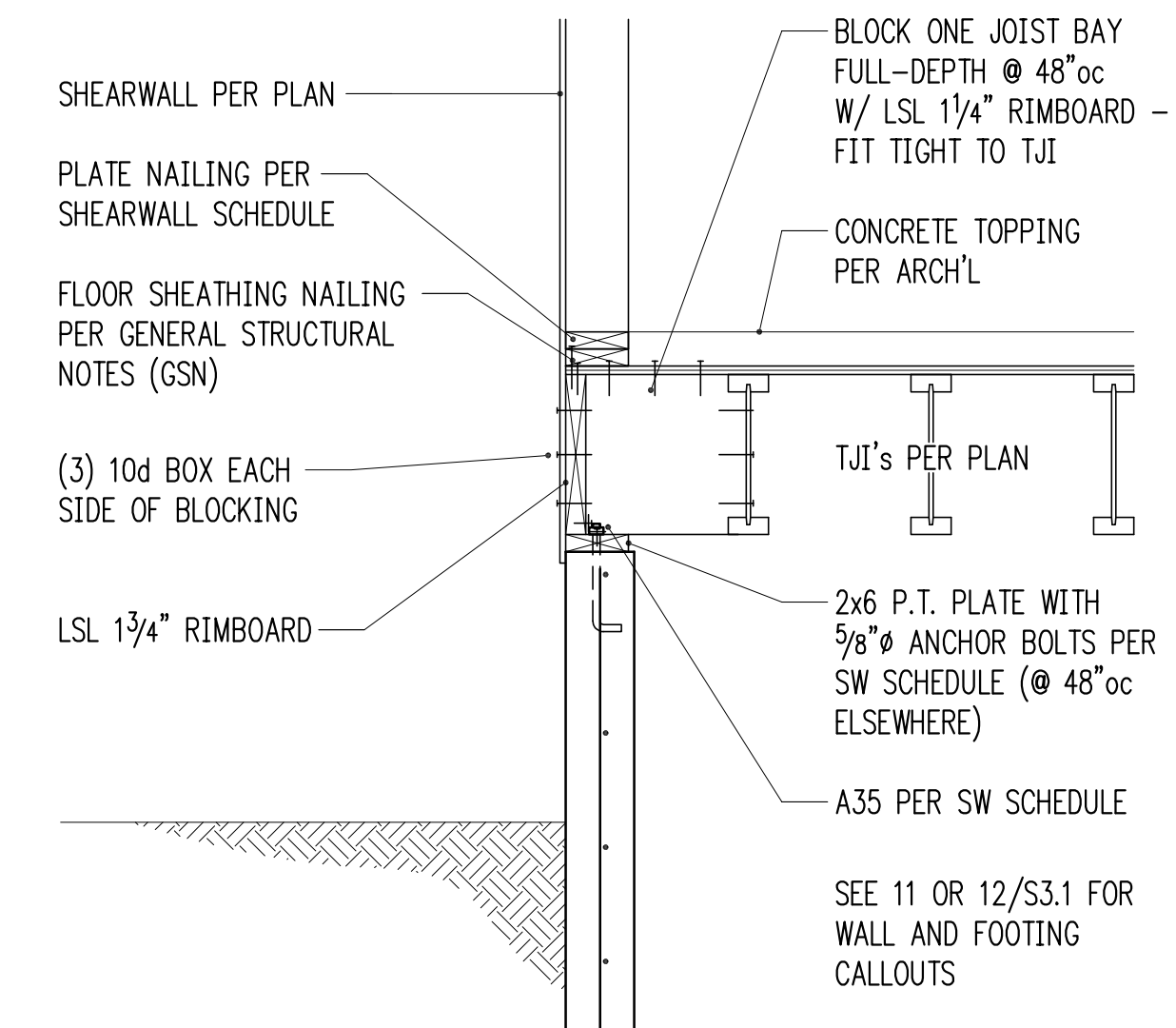


WF BEAM BEARING ON HSS COLUMN

3/4" = 1'-0" 2



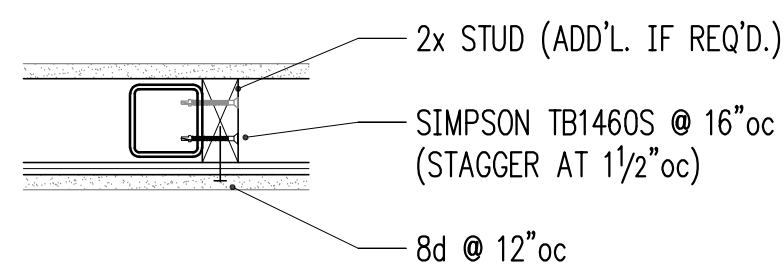
3/4" = 1'-0" 3



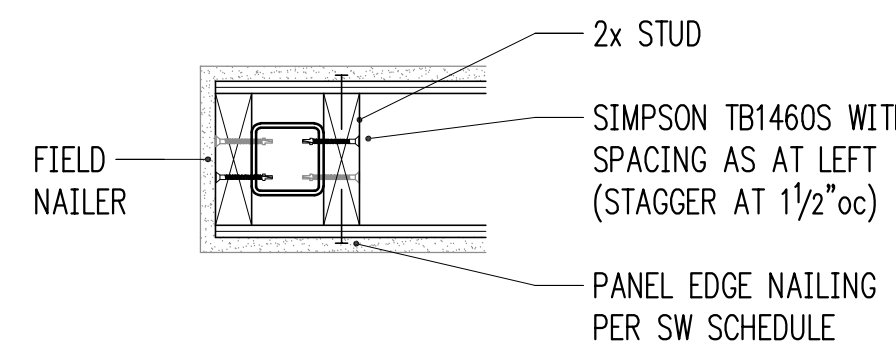
3/4" = 1'-0" 4

**NAILER TYPE:**

STUD WALL OR SHEARWALL FIELD NAILER



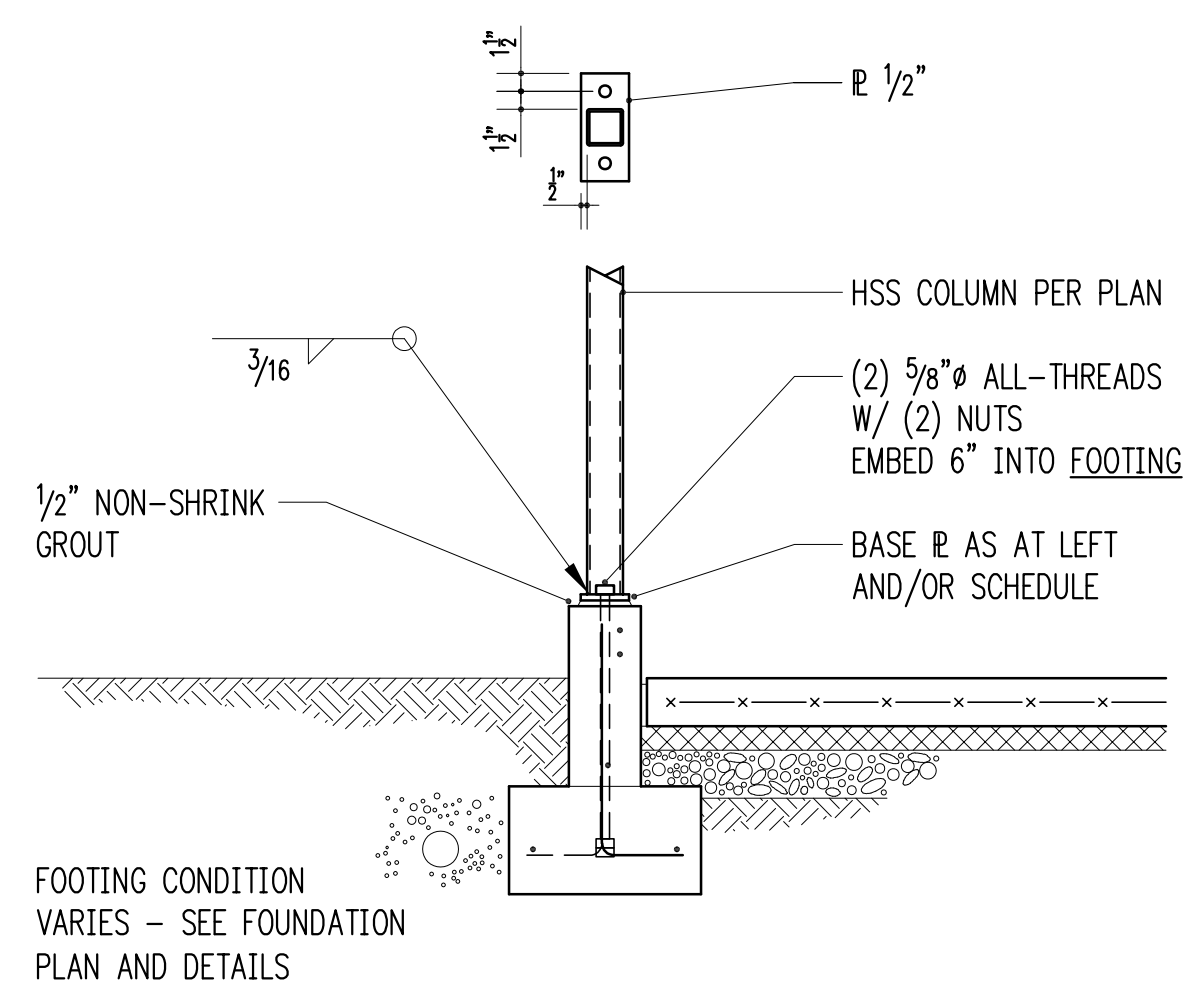
SHEARWALL BOUNDARY NAILER



SW1 16"oc  
SW2 12"oc  
SW3 9"oc  
SW4 7"oc  
SW5 4 1/2"oc  
SW6 3 1/2"oc

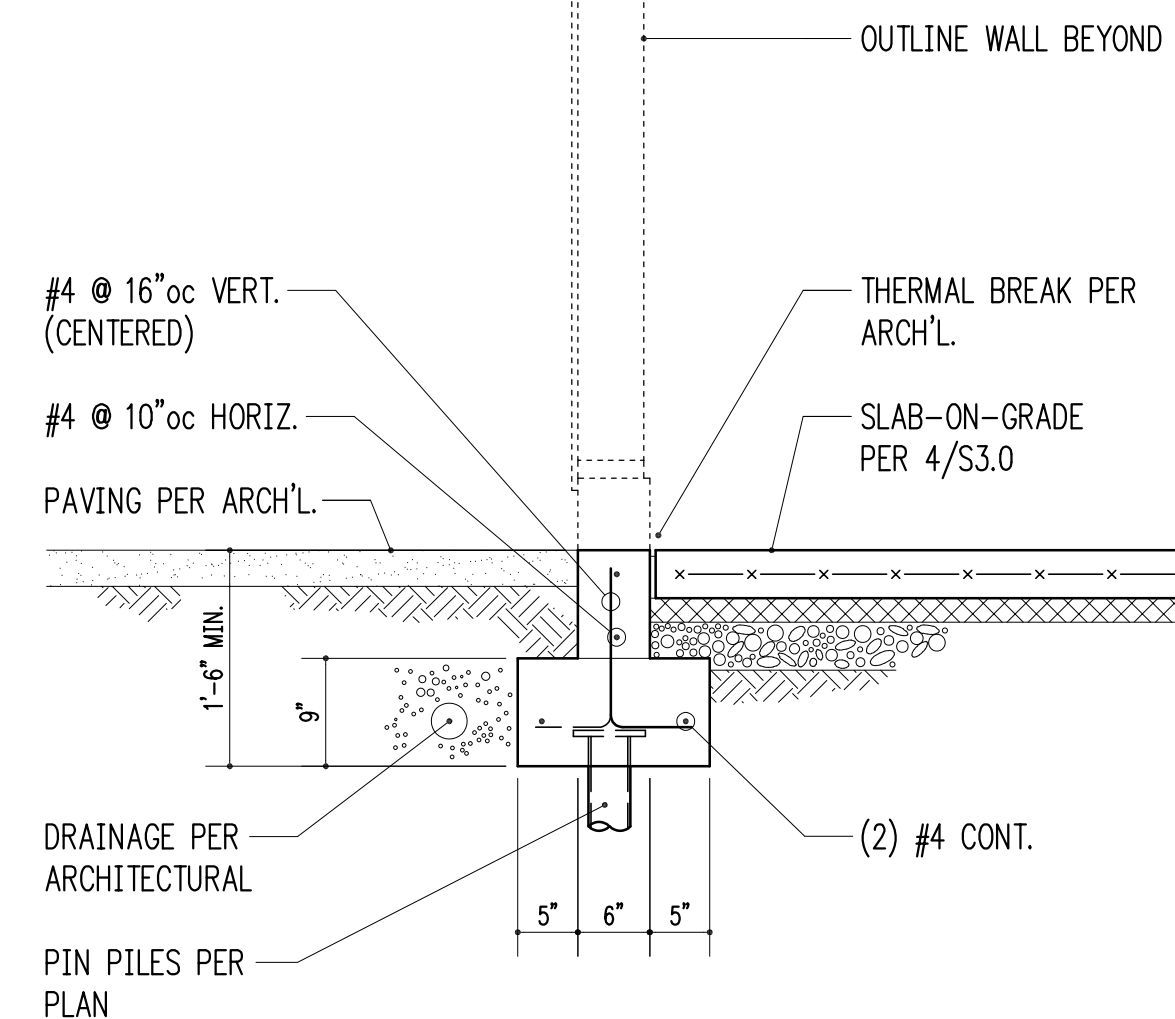
HSS COLUMN NAILERS

1-1/2" = 1'-0" 5

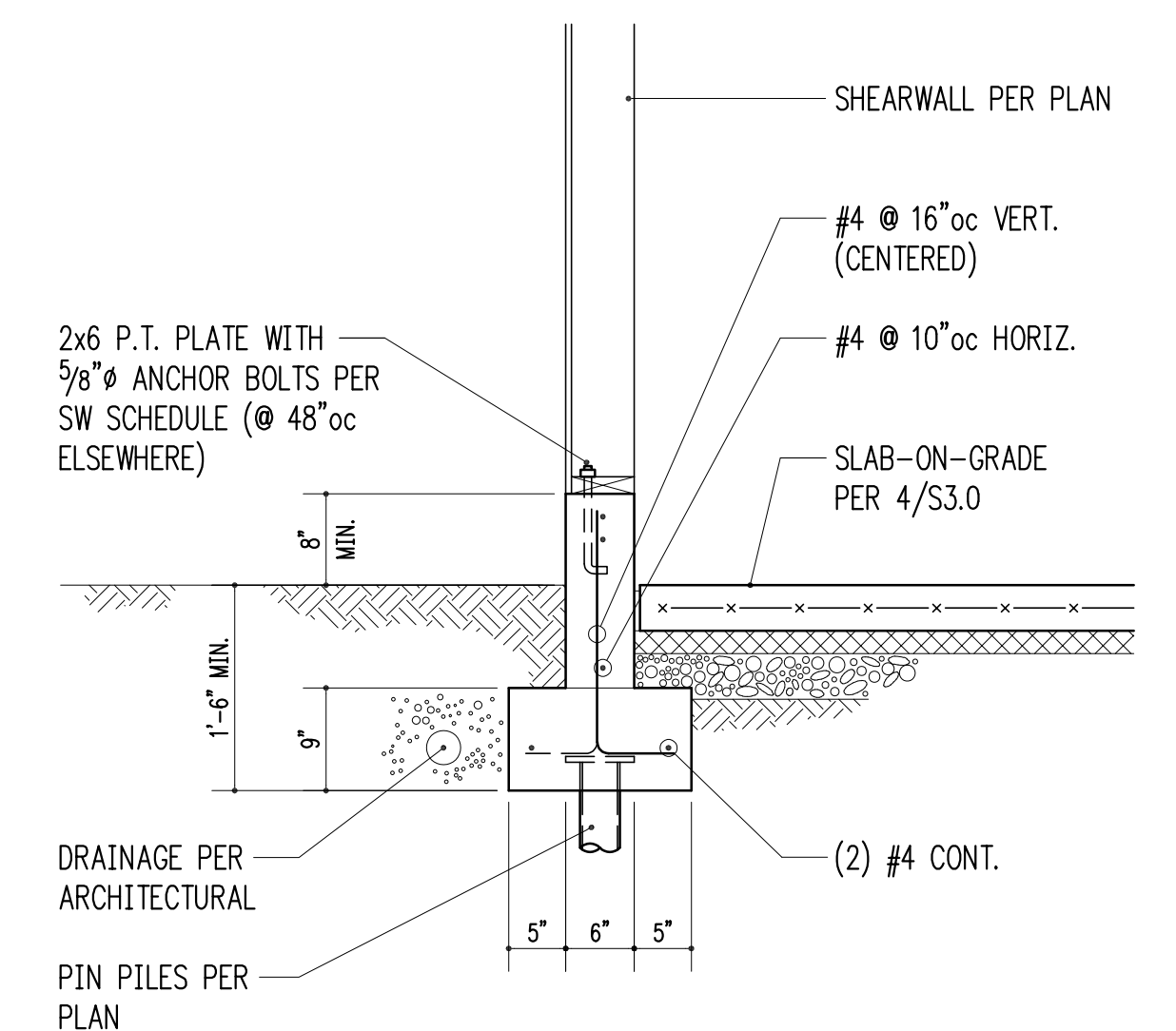


HSS COLUMN BASE PLATES

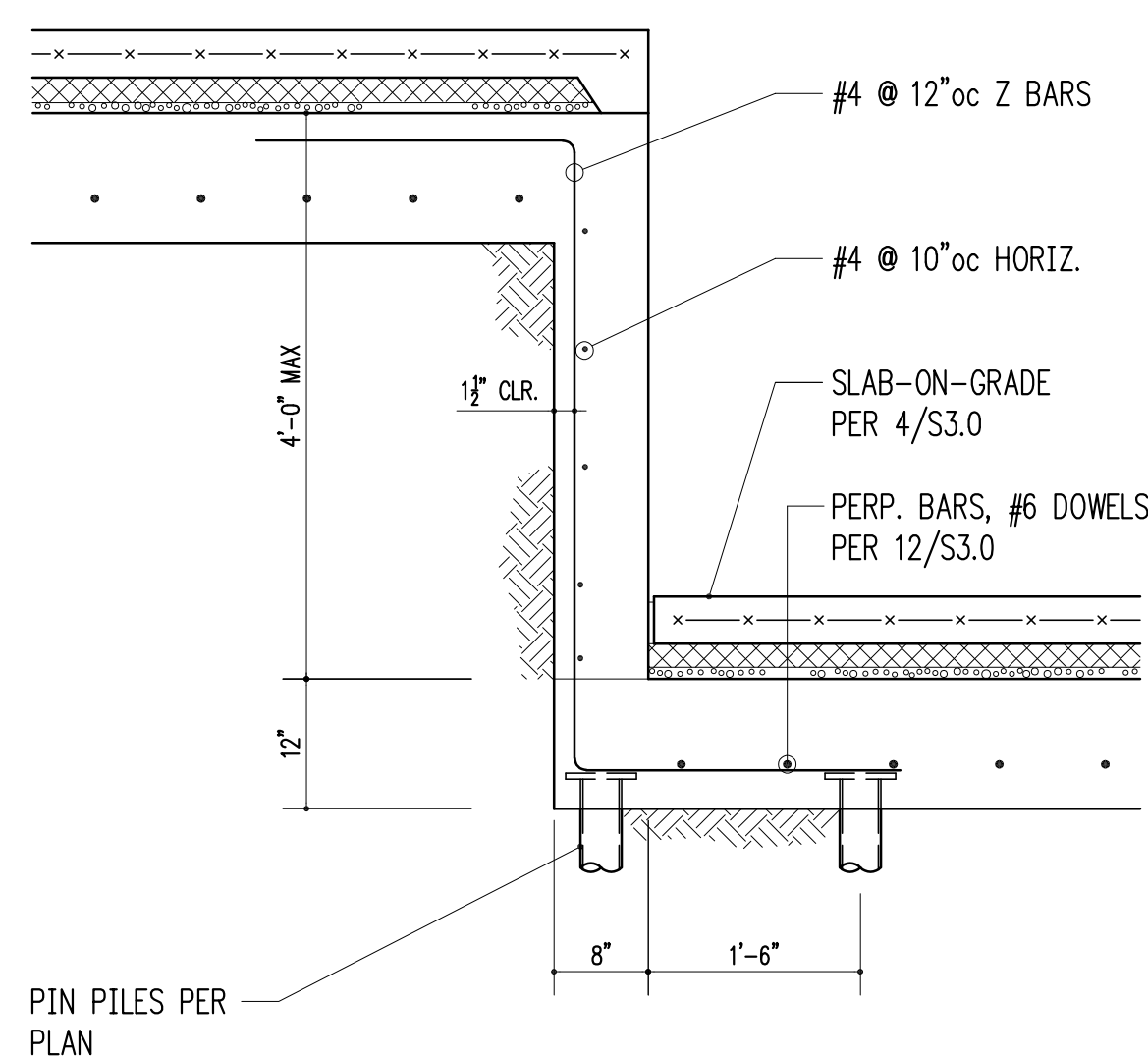
3/4" = 1'-0" 6



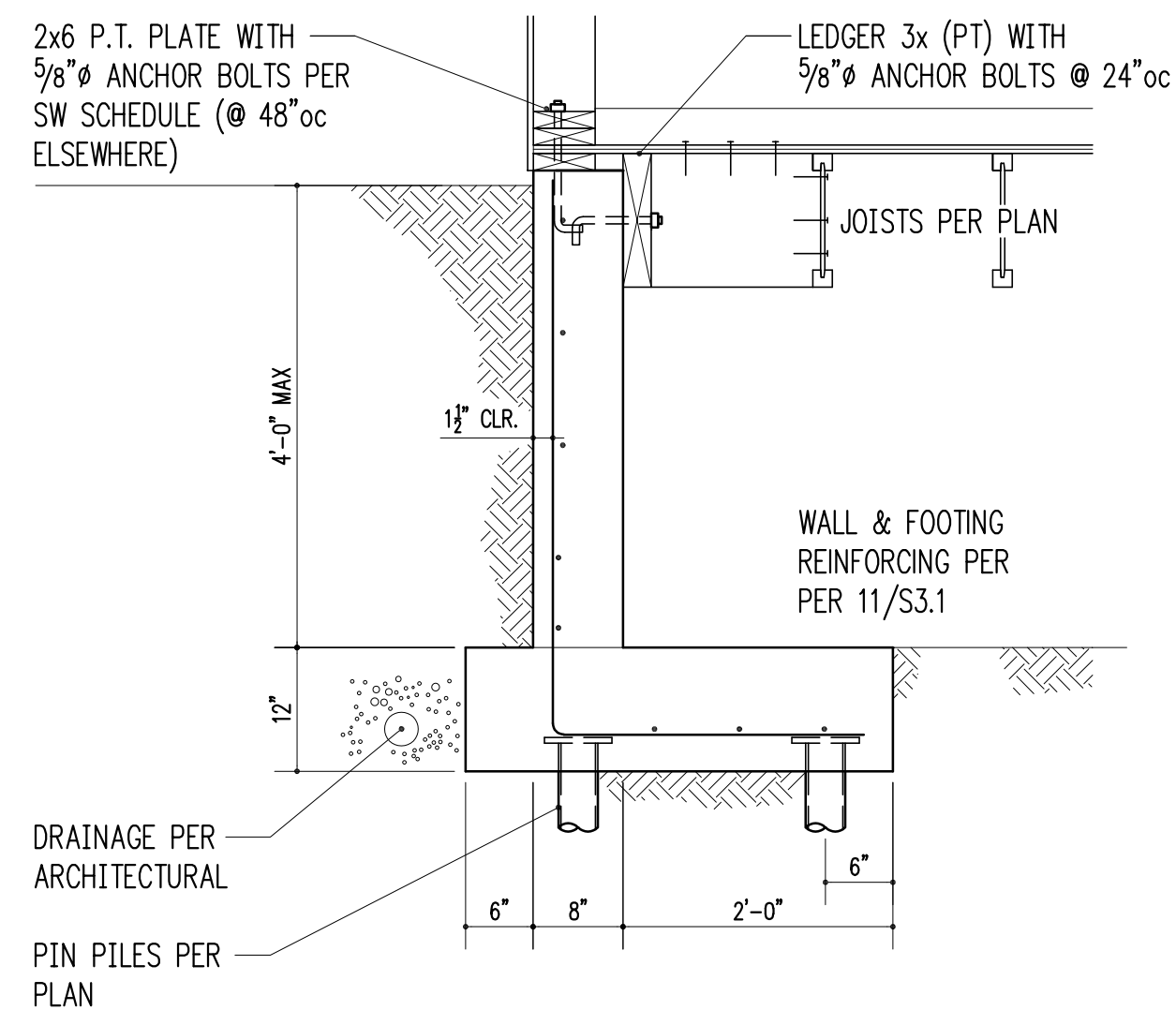
3/4" = 1'-0" 7



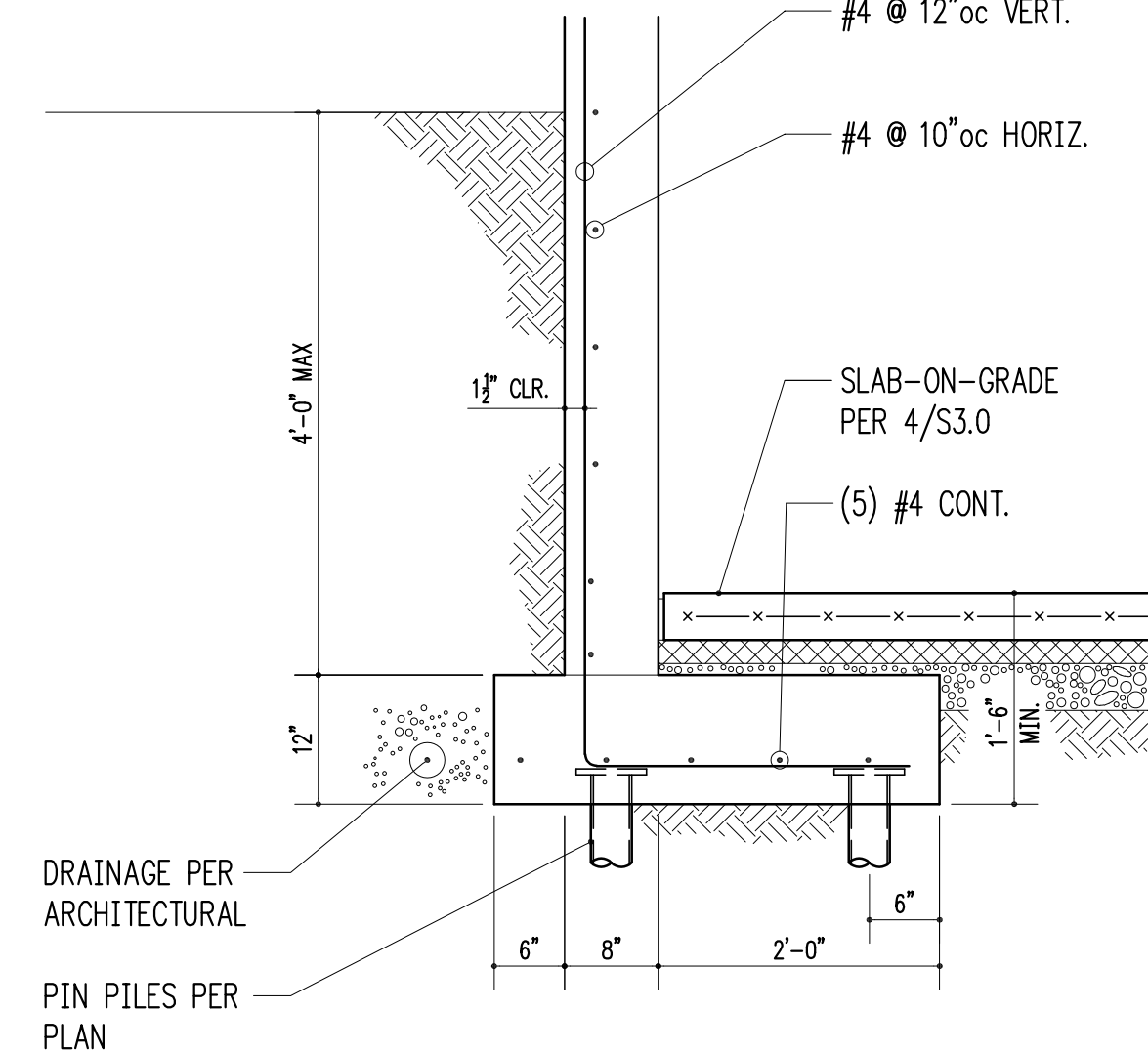
3/4" = 1'-0" 8



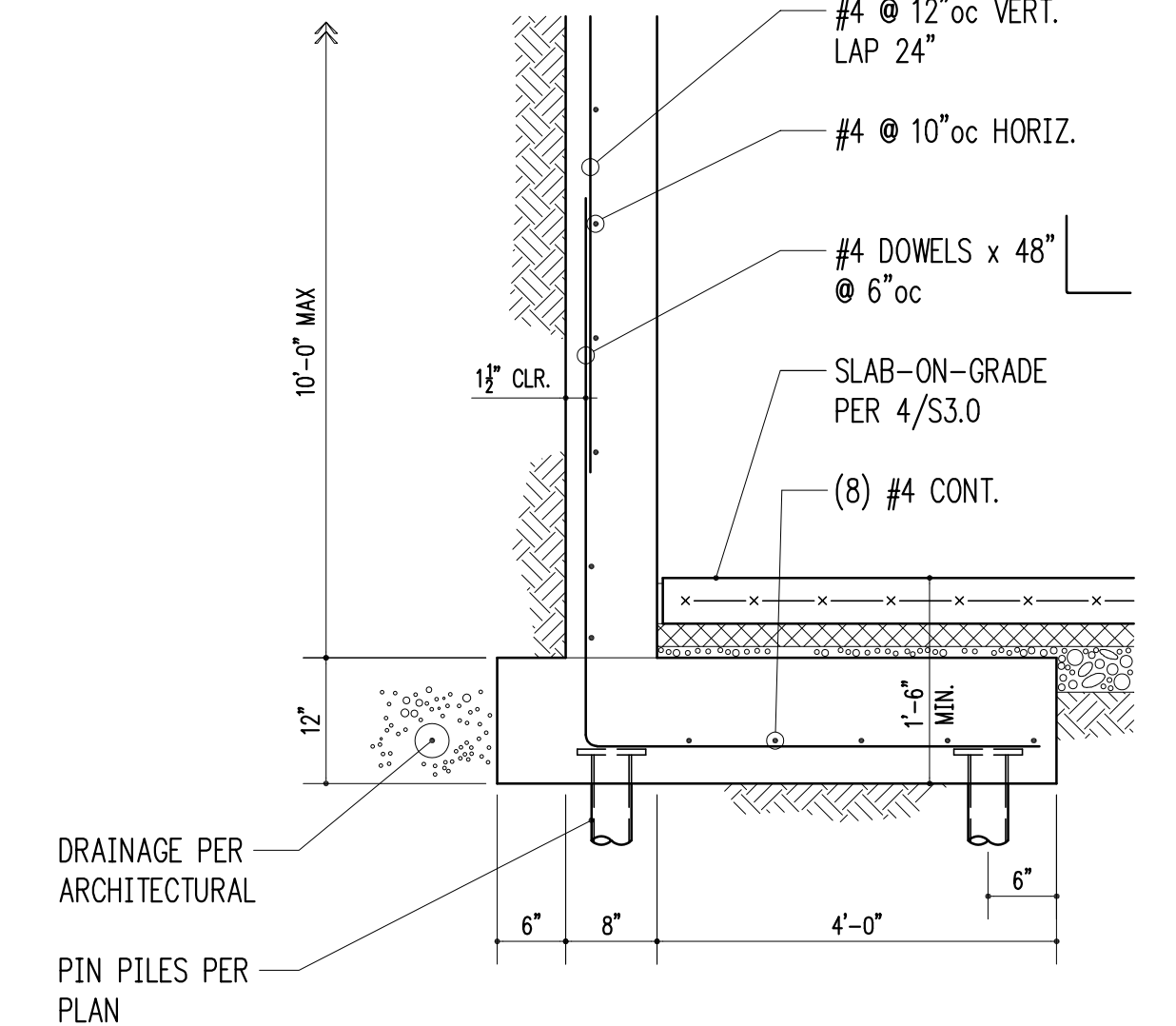
3/4" = 1'-0" 9



3/4" = 1'-0" 10



3/4" = 1'-0" 11



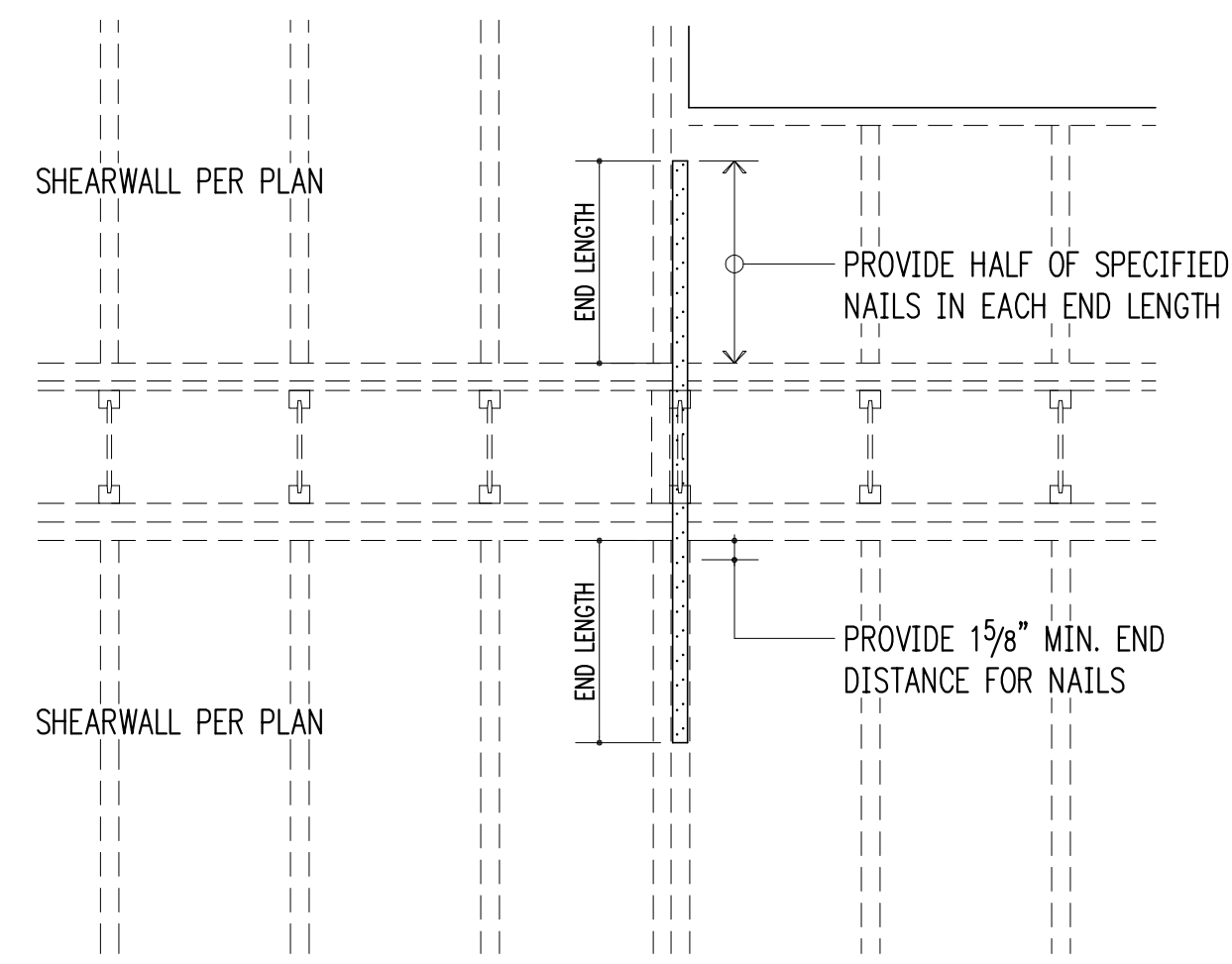
3/4" = 1'-0" 12

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**STRAP SCHEDULE**

MARK	END LENGTH	NAILS	NAIL SPACING
CMST12	44"	(98) 10d x 3"	1 3/4"
CMST14	34"	(76) 10d x 3"	1 3/4"
CMSTC16	25"	(58) 12d x 3 1/4"	1 1/2"
CS14	19"	(36) 8d x 2 1/2"	2 1/16"
CS16	14"	(26) 8d x 2 1/2"	2 1/16"
CS20	9"	(16) 8d x 2 1/2"	2 1/16"
CSHP20	8"	(12) 0.148" x 2 1/2"	1 13/16"

- 10d AND 12d DIAMETER = 0.148"; 8d DIAMETER = 0.131".
- USE HALF OF THE REQUIRED NAILS IN EACH MEMBER BEING CONNECTED (i.e. IN EACH END LENGTH).



TYPICAL STRAP HOLDDOWN AT FLOOR

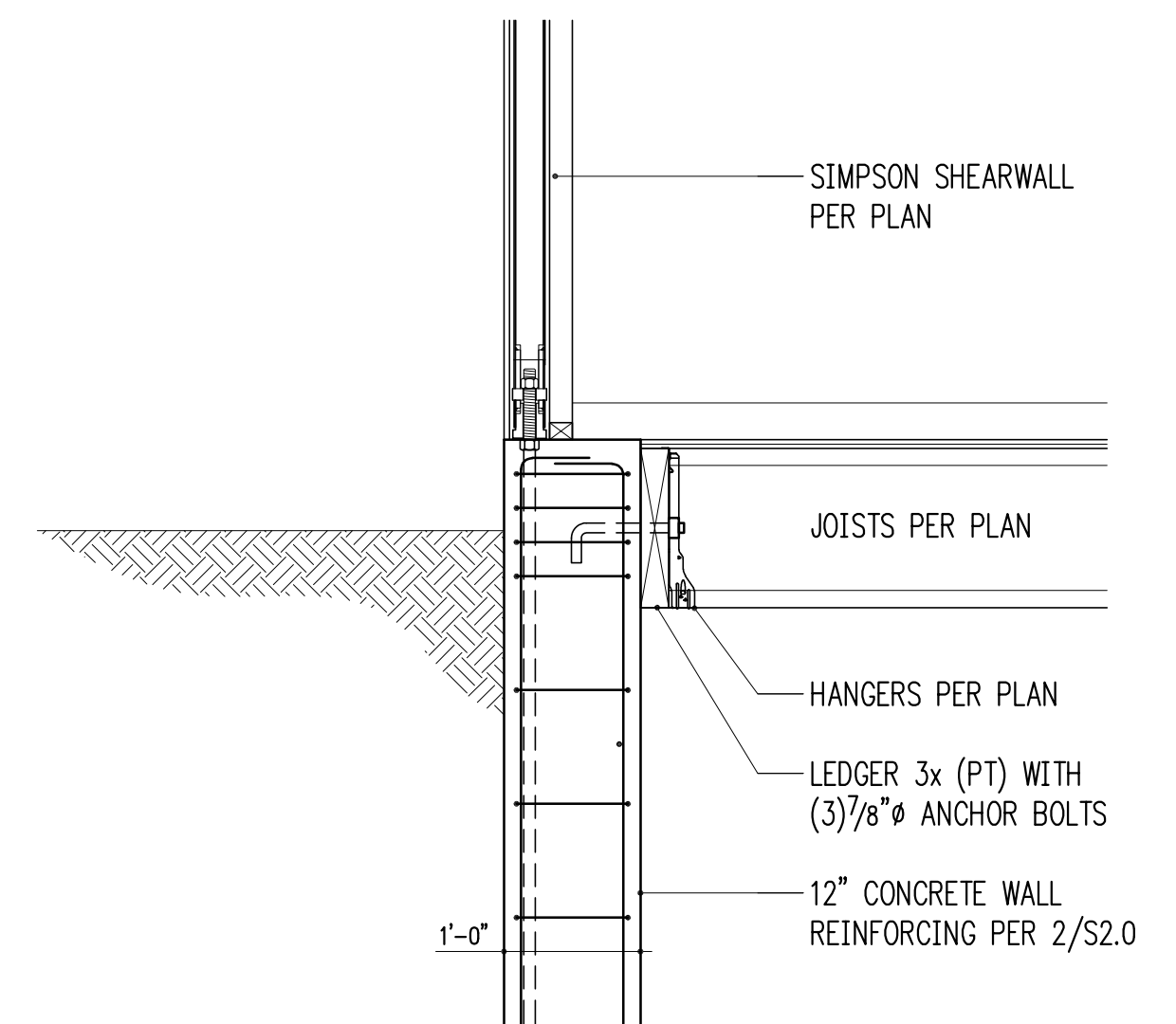
3/4" = 1'-0" 1

3/4" = 1'-0" 2

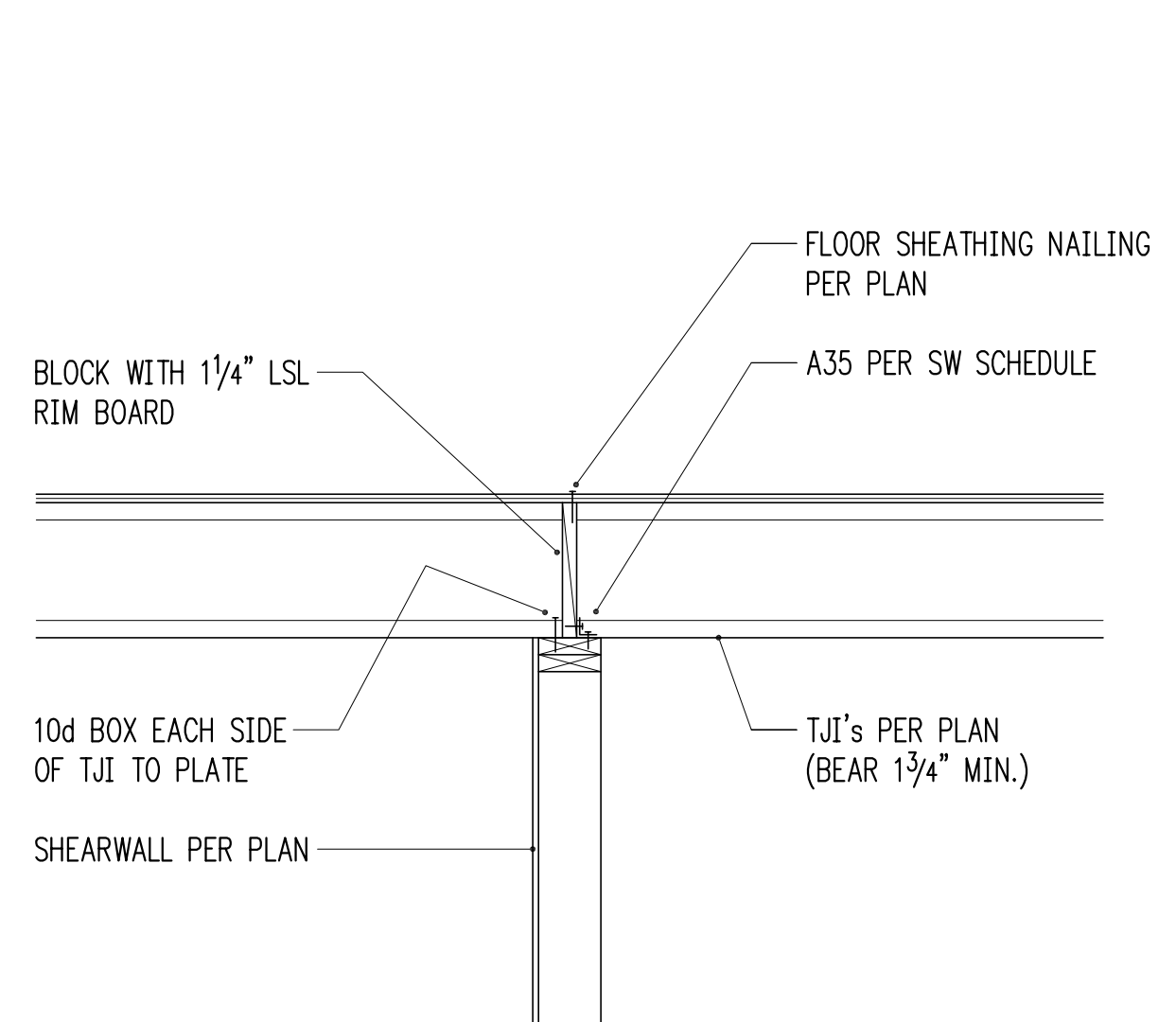
**SHEARWALL SCHEDULE**

MARK	SHEATHING <sup>1</sup>	STUDS AT ABUTTING PANEL EDGES <sup>2</sup>	PANEL EDGE NAILING <sup>3,4</sup>	RIM JOIST OR BLOCKING TO TOP PLATE		BOTTOM PLATE ATTACHMENT		
				SOLID RIM	TJI RIM	BOTTOM PLATE TO RIM JOIST BELOW <sup>4</sup>	ANCHOR BOLT TO CONCRETE <sup>5</sup>	SILL PLATE AT FOUND.
SW1	15/32" CDX PLYWOOD	2x	8d @ 6"oc	A35 @ 24"oc	16d @ 6"oc	16d @ 6"oc	5/8" @ 48"oc	2x
SW2	15/32" CDX PLYWOOD	2x	8d @ 4"oc	A35 @ 15"oc	16d @ 4"oc	16d @ 4"oc	5/8" @ 32"oc	2x
SW3	15/32" CDX PLYWOOD	3x	8d @ 2"oc	A35 @ 9"oc	N/A - USE SOLID RIM	16d @ 2"oc	5/8" @ 12"oc	2x
SW4	15/32" CDX PLYWOOD BOTH SIDES	3x	8d @ 2"oc	A35 @ 4 1/2"oc	N/A - USE SOLID RIM	(2) ROWS 16d @ 2"oc	5/8" @ 12"oc	3x

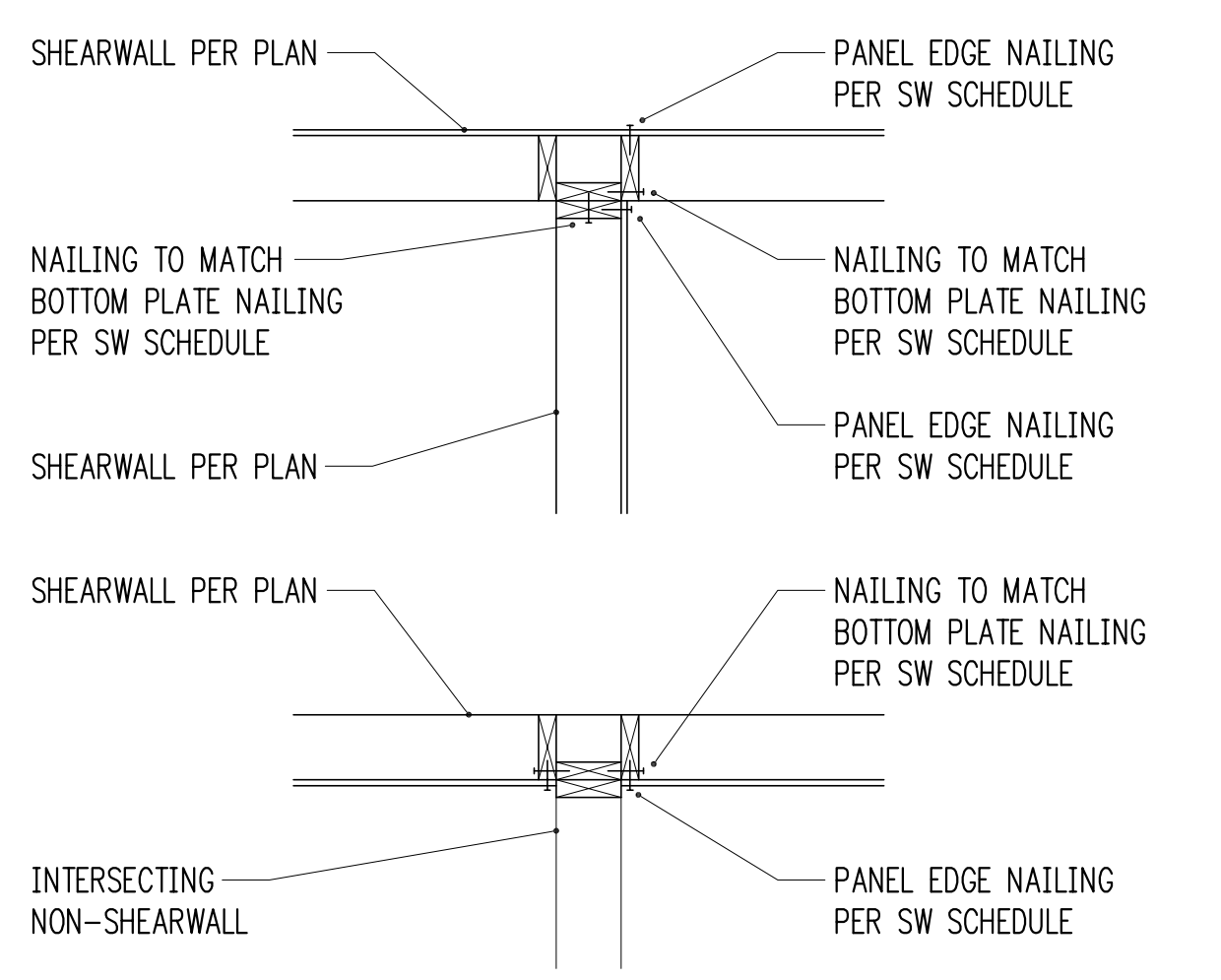
- WALL SHEATHING SHALL CONSIST OF APA RATED PLYWOOD WITH SPAN RATING 24/0. ALLOW 1/8" SPACING AT ALL PANEL EDGES AND ENDS OF PANELS. 7/16" APA RATED SHEATHING (OSB) MAY BE USED IN PLACE OF 15/32" CDX.
- STUDS AT ABUTTING PANEL EDGES MAY CONSIST OF (2)2x STUDS IN PLACE OF 3x STUDS - NAIL (2)2x STUDS TOGETHER WITH BOTTOM PLATE ATTACHMENT NAILING.
- BLOCK ALL PANEL EDGES W/ 2x4 FLAT, ATTACH W/ PANEL EDGE NAILING. TWO STUDS MINIMUM ARE REQUIRED AT EACH END OF ALL SHEARWALLS. END STUDS SHALL RECEIVE PANEL EDGE NAILING. INTERMEDIATE STUDS SHALL BE 2x STUDS. NAIL SHEATHING TO INTERMEDIATE FRAMING MEMBERS WITH 8d @ 12"oc.
- 8d NAILS SHALL BE 0.131" DIAMETER x 2 1/2" (COMMON). 16d NAILS SHALL BE 0.135" DIAMETER x 3 1/2" (BOX).
- ANCHORS TO CONCRETE SHALL CONSIST OF CAST-IN-PLACE ANCHOR BOLTS, EXPANSION BOLTS, EPOXY GROUDED ALL-THREADS, OR TITEN HD HEAVY DUTY SCREW ANCHORS. CAST-IN-PLACE ANCHOR BOLTS HAVE A 7" EMBED AND SHALL BE J-BOLTS OR SHALL HAVE A HEX NUT AT THE BOTTOM END. EXPANSION BOLTS SHALL HAVE 5" EMBED AND SHALL NOT BE USED AT STEM WALL LOCATIONS WITH EDGE DISTANCE LESS THAN 5" (INSTEAD, USE EPOXY GROUDED ALL-THREADS OR TITEN HD ANCHORS). EPOXY GROUDED ANCHORS SHALL HAVE 5" EMBED AND 2 1/2" MIN. EDGE DISTANCE. TITEN HD ANCHORS SHALL HAVE 3 1/2" EMBED AND 1 3/4" MIN. EDGE DISTANCE. AT ALL ANCHOR BOLTS, PROVIDE STEEL PLATE WASHERS THAT ARE A MINIMUM OF 0.229" (3 GAUGE) x 3"x 3" (SIMPSON BP5/8-3 OR SIMILAR). STEEL PLATE WASHERS SHALL EXTEND TO WITHIN 1/2" OF PLYWOOD SHEATHING.



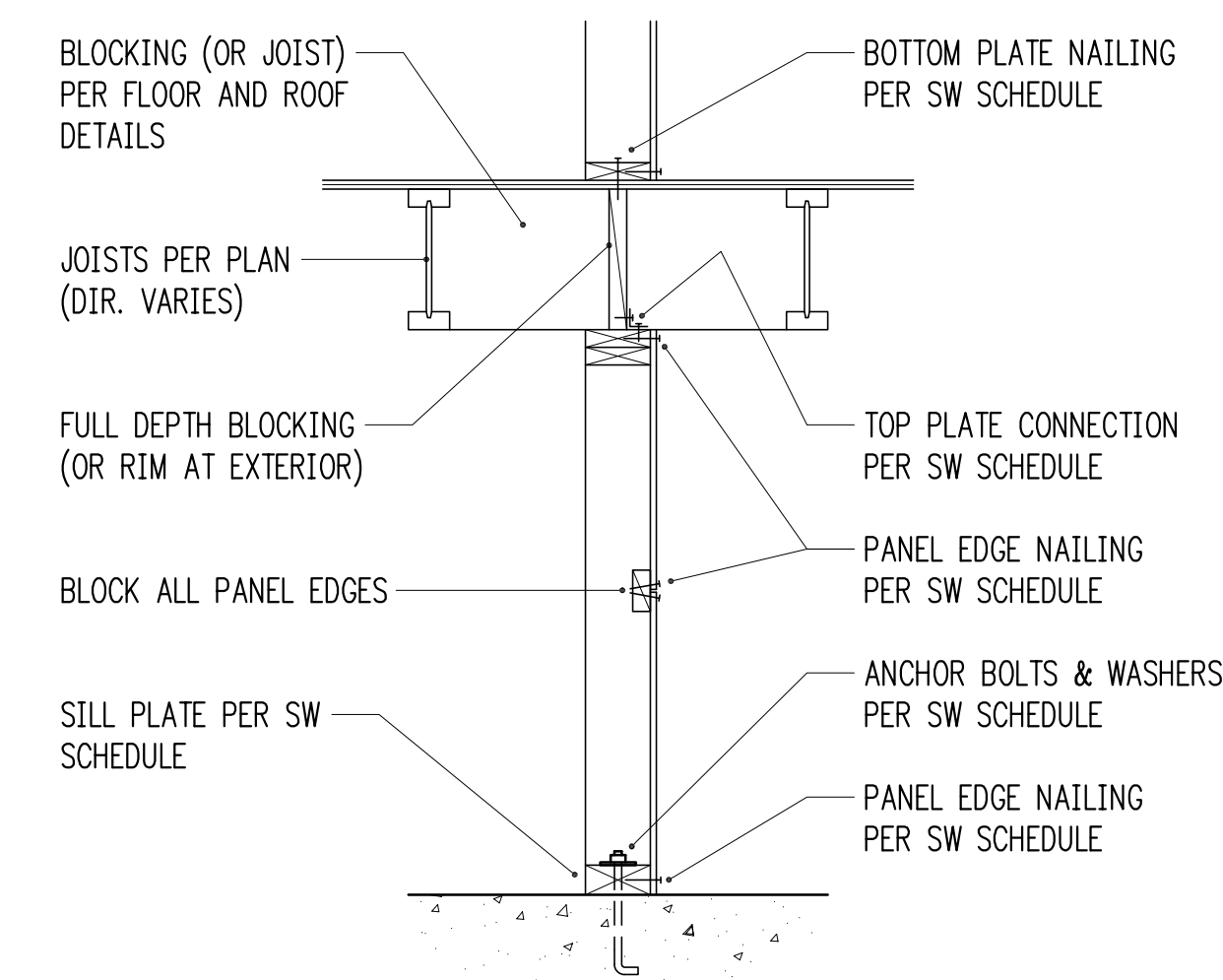
3/4" = 1'-0" 5



3/4" = 1'-0" 6



TYPICAL SHEARWALL INTERSECTIONS



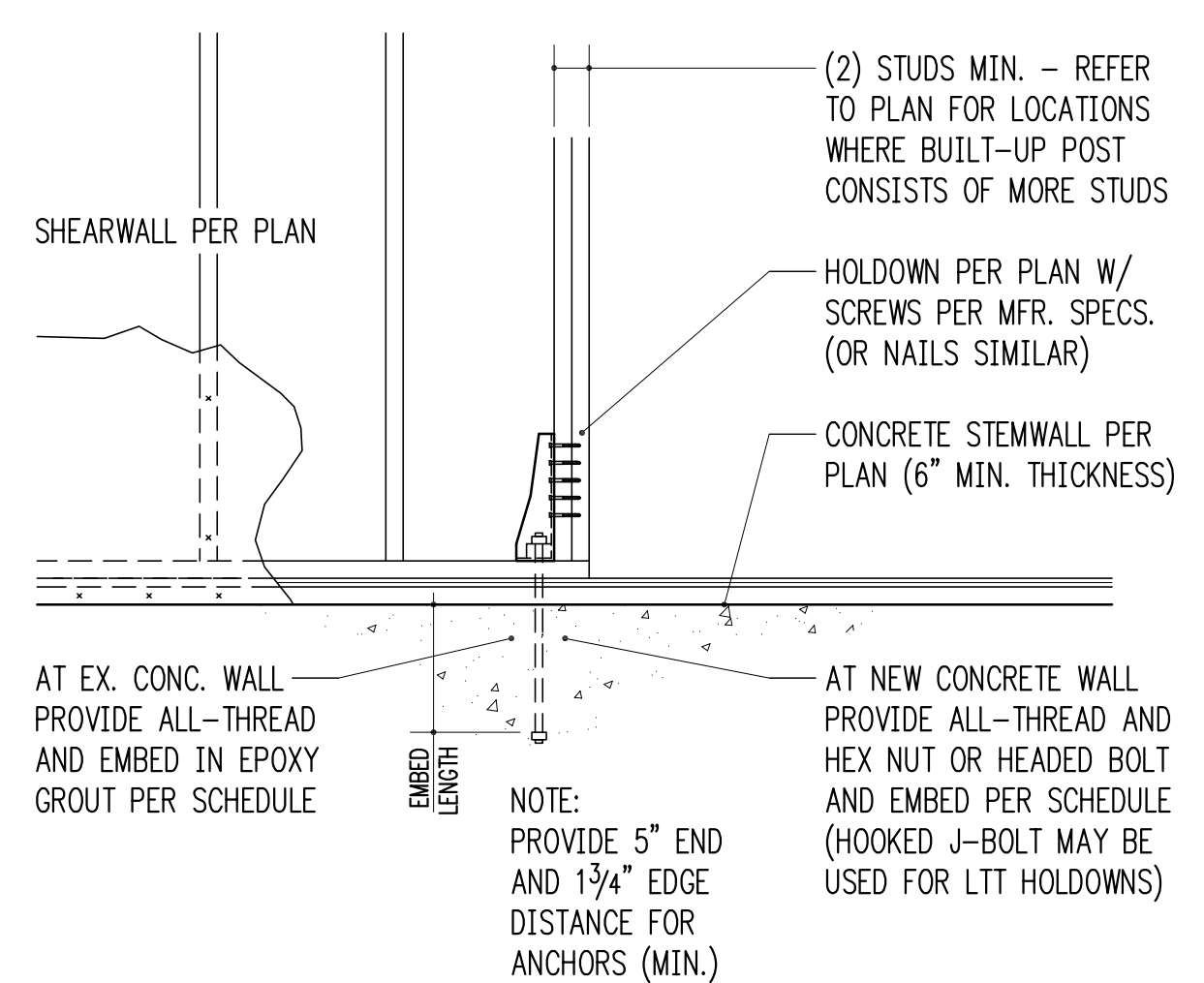
TYPICAL SHEARWALL SECTION

3/4" = 1'-0" 8

**HOLDOWN SCHEDULE**

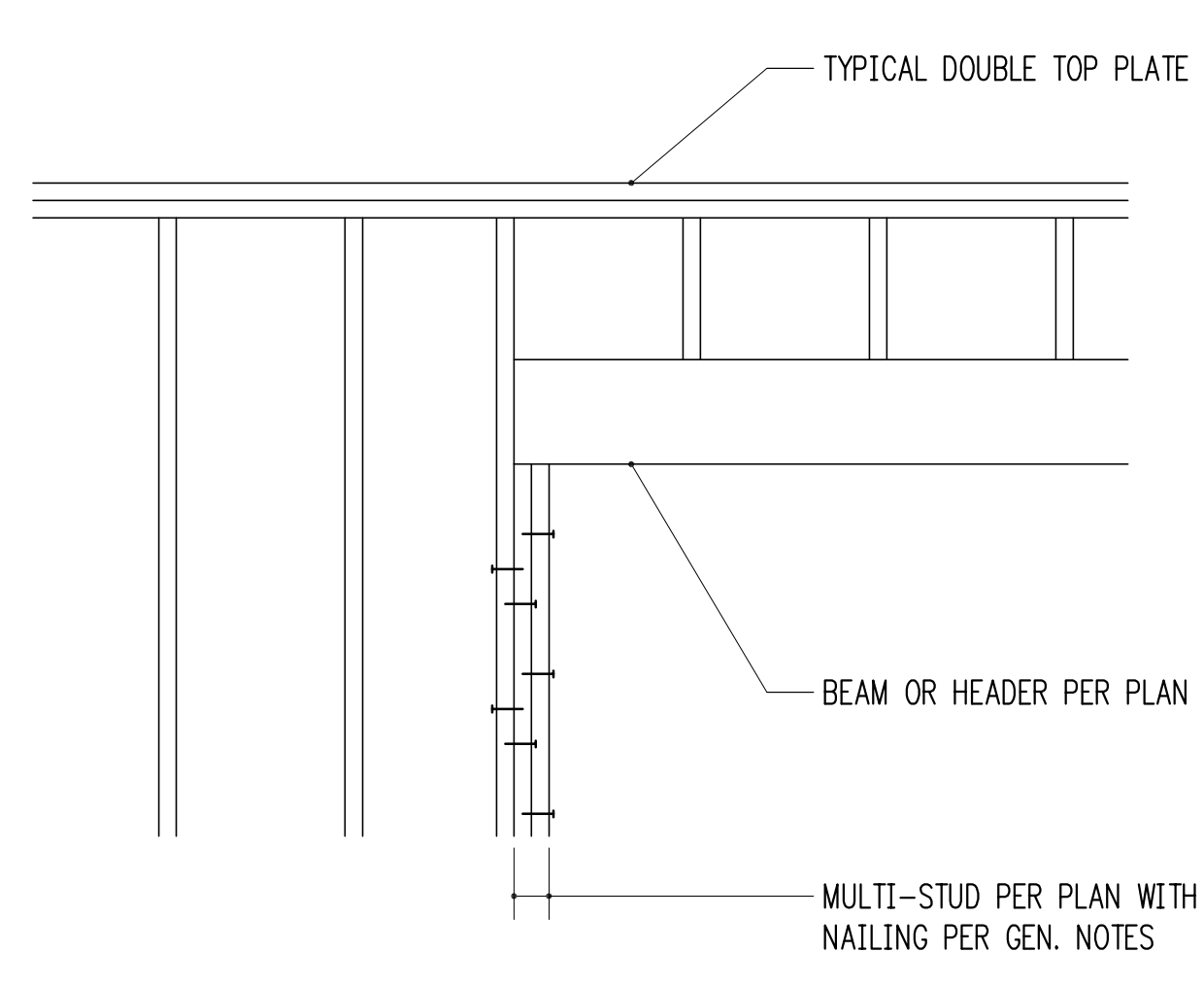
MARK	FASTENERS TO STUDS <sup>1</sup>	ANCHOR DIA. <sup>2</sup>	EMBEDMENT LENGTH	
			EPOXY <sup>3</sup>	CAST-IN <sup>4</sup>
DTT2Z	(8) 1/4" @ x 2 1/2" SCREWS	5/8"	7"	7"
HDU5	(14) 1/4" @ x 2 1/2" SCREWS	5/8"	-	37"

- 10d AND 12d DIAMETER = 0.148"; 16d DIAMETER = 0.162". SCREWS SHALL BE SIMPSON "SDS" TYPE SCREWS, INSTALL PER SIMPSON RECOMMENDATIONS.
- PROVIDE A36 OR A307 ALL-THREAD AT EPOXY AND CAST-IN ANCHORS.
- PROVIDE SIMPSON "SET-XP" EPOXY PER GENERAL STRUCTURAL NOTES. SPECIAL INSPECTION IS REQUIRED.
- AT CAST-IN ANCHORS PROVIDE HEAVY HEX NUT AT BOTTOM OF ALL-THREAD.



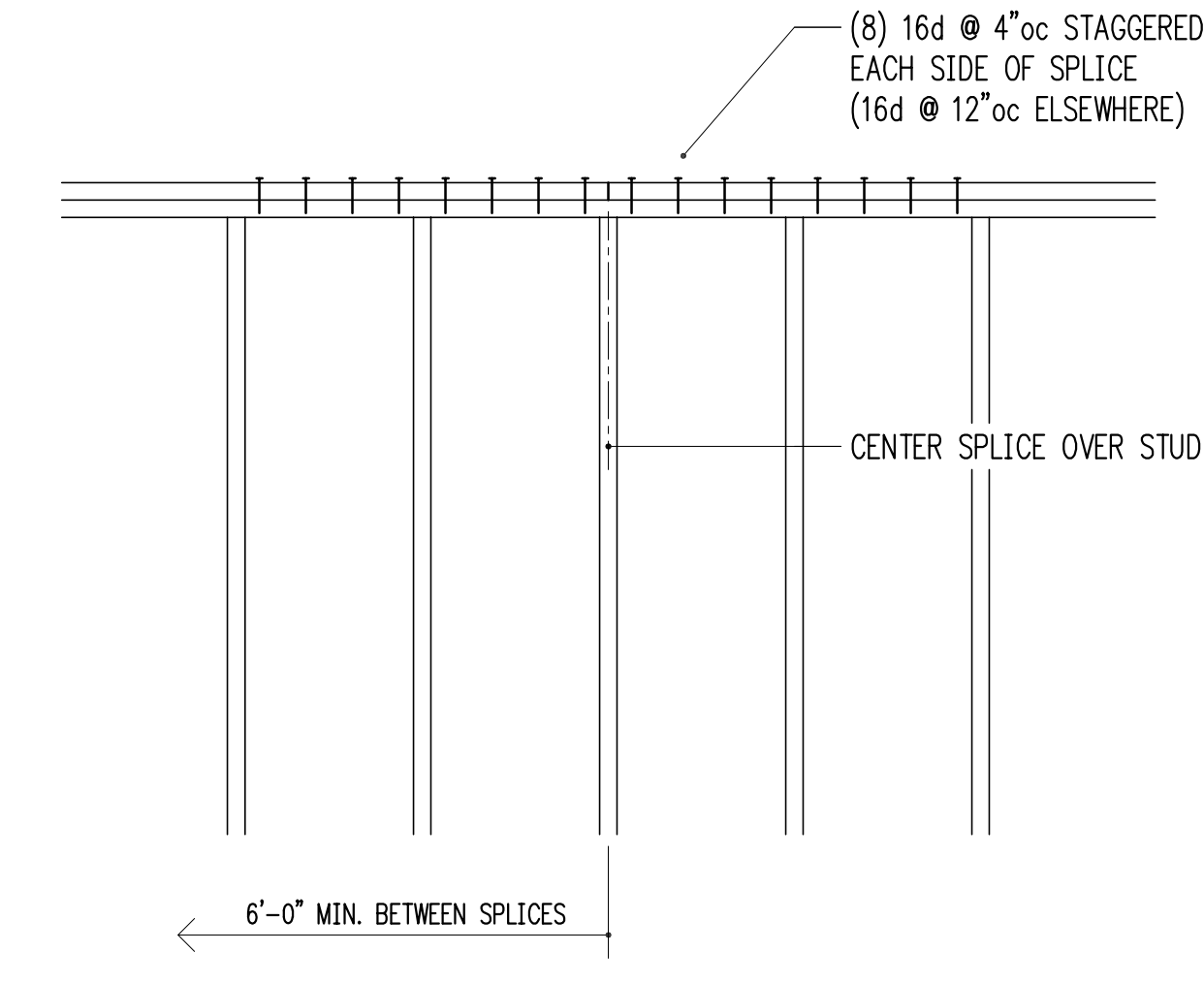
TYPICAL HOLDDOWN AT CONCRETE

3/4" = 1'-0" 10



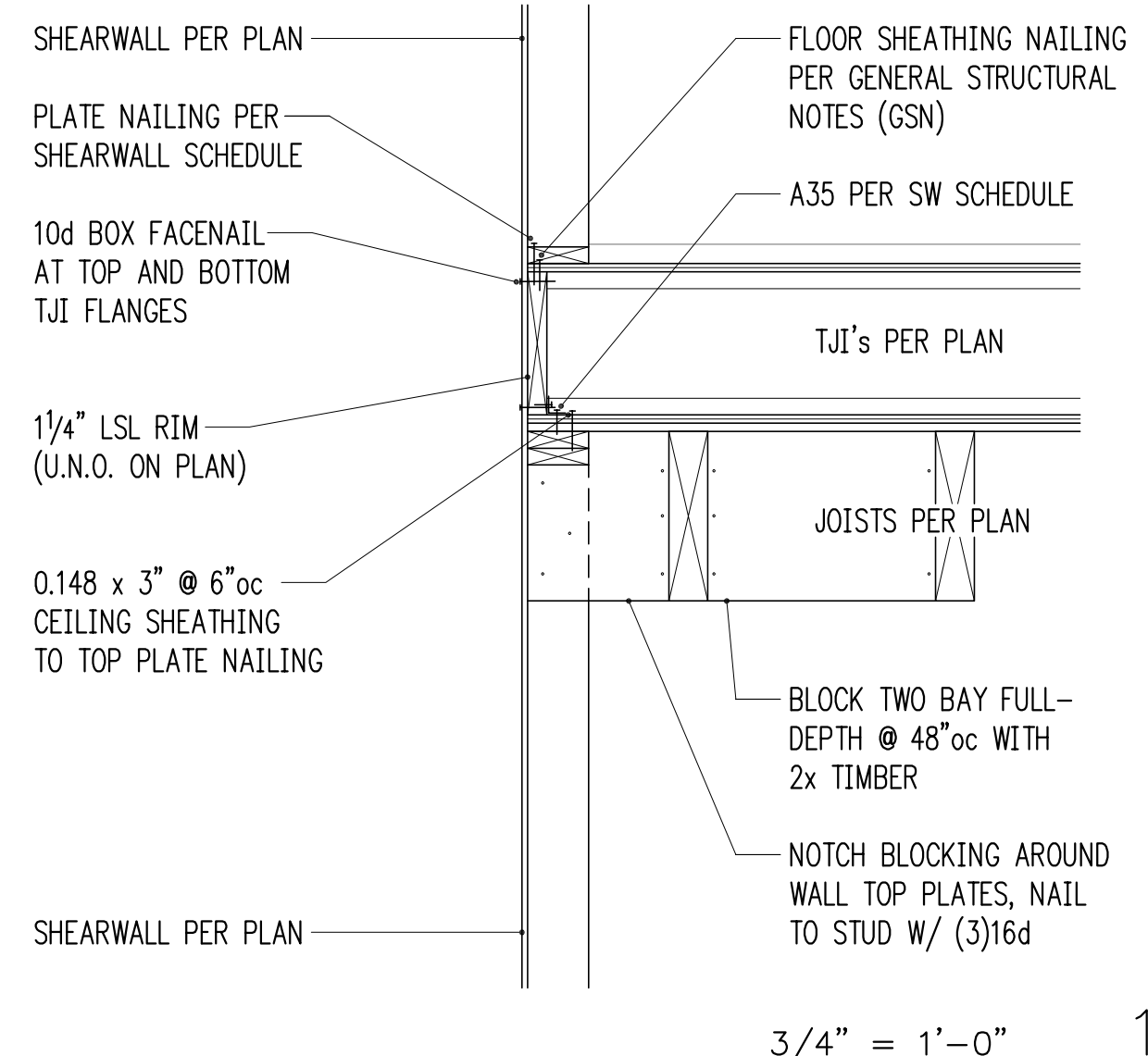
TYPICAL MULTIPLE-STUD POST CONSTRUCTION

3/4" = 1'-0" 11

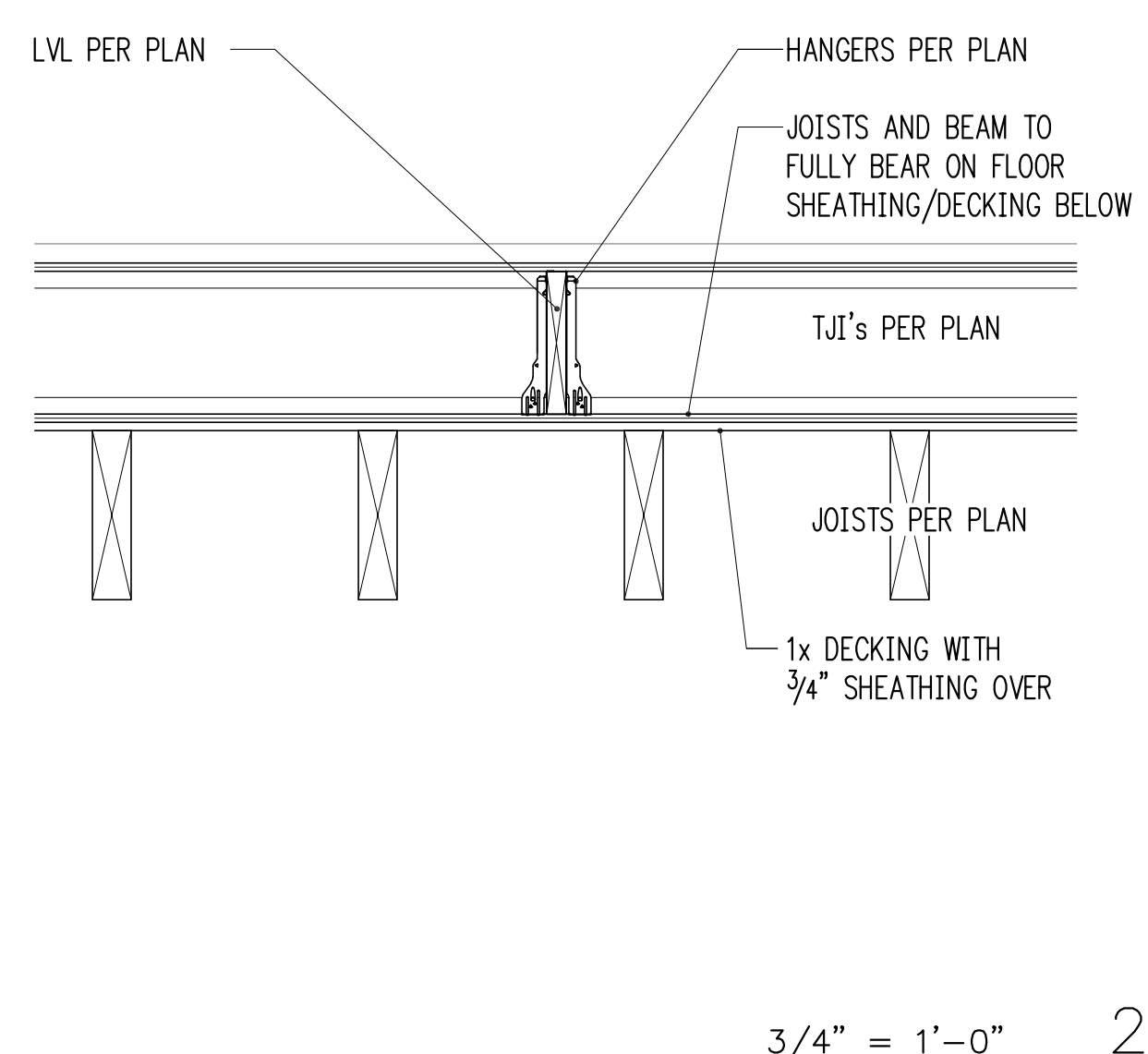


TYPICAL TOP PLATE SPLICE CONSTRUCTION

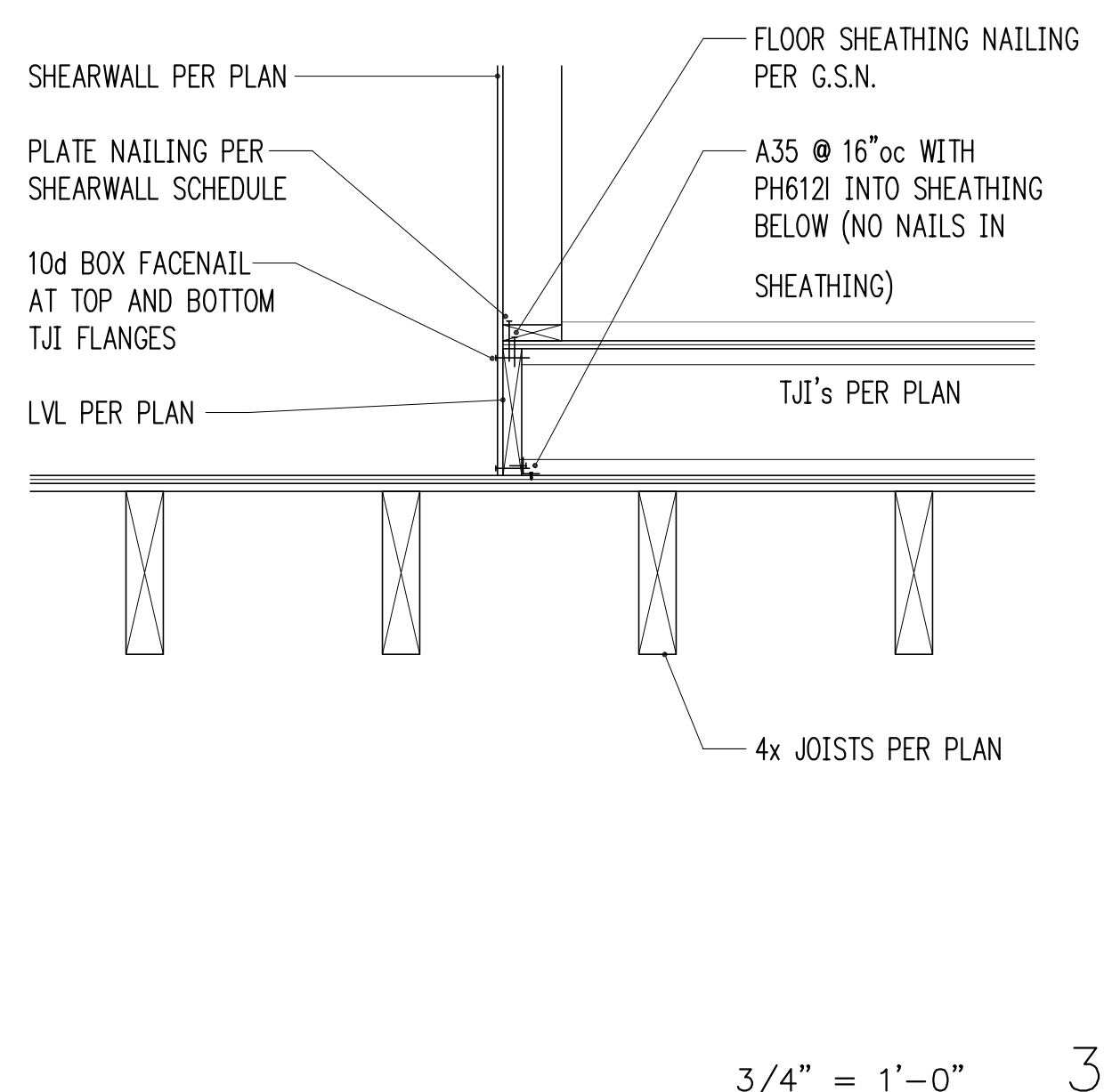
3/4" = 1'-0" 12



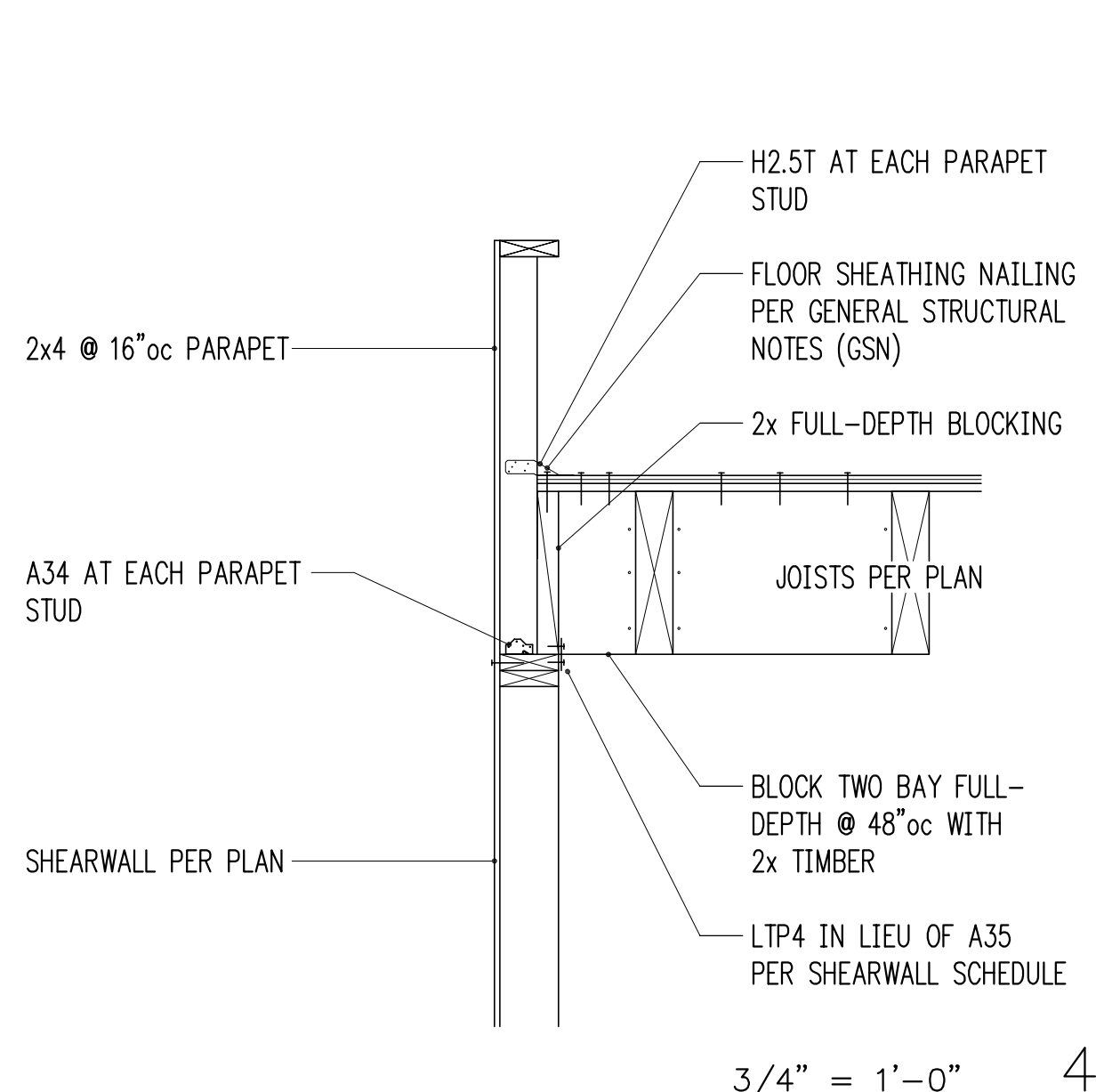
3/4" = 1'-0" 1



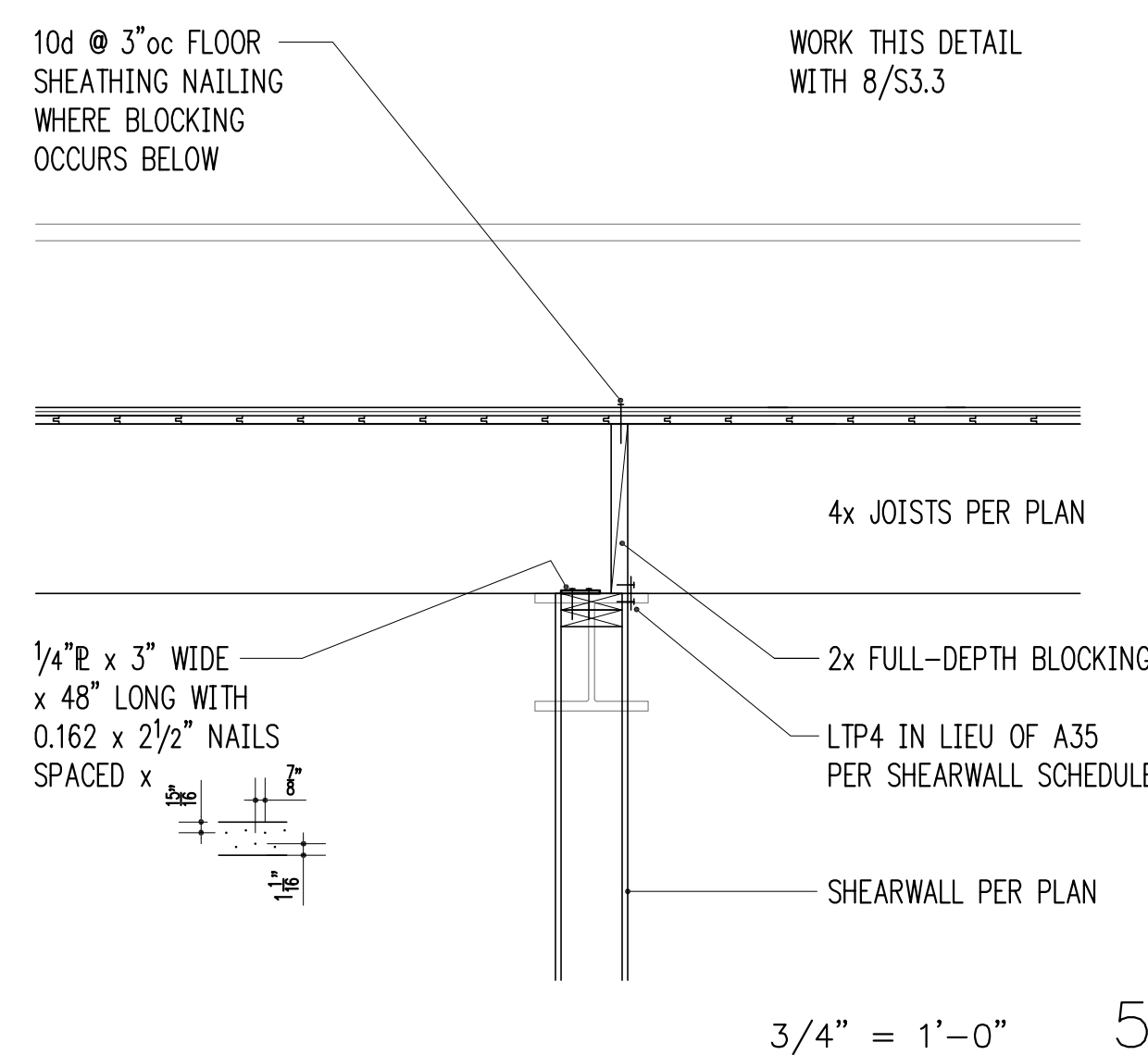
3/4" = 1'-0" 2



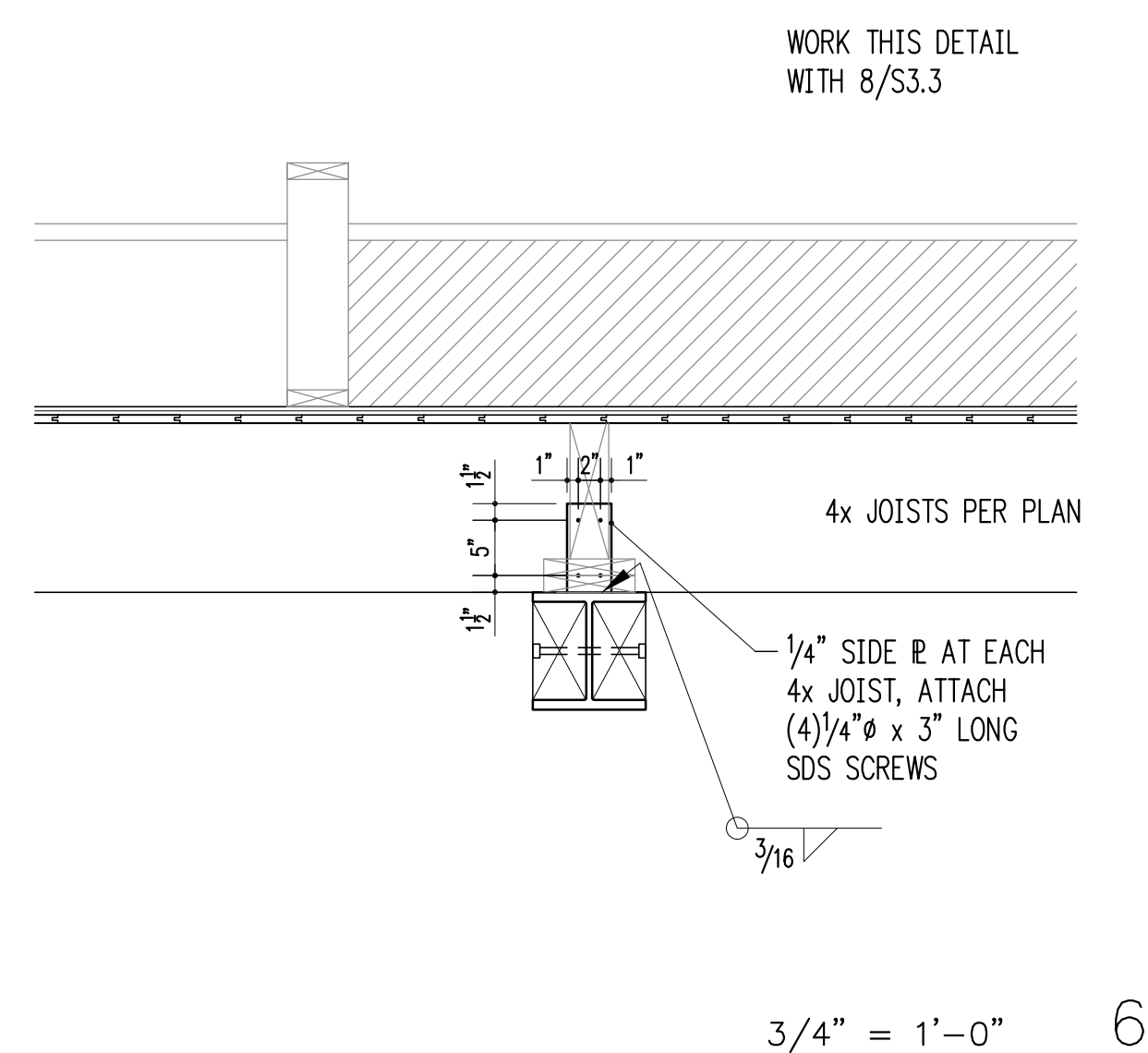
3/4" = 1'-0" 3



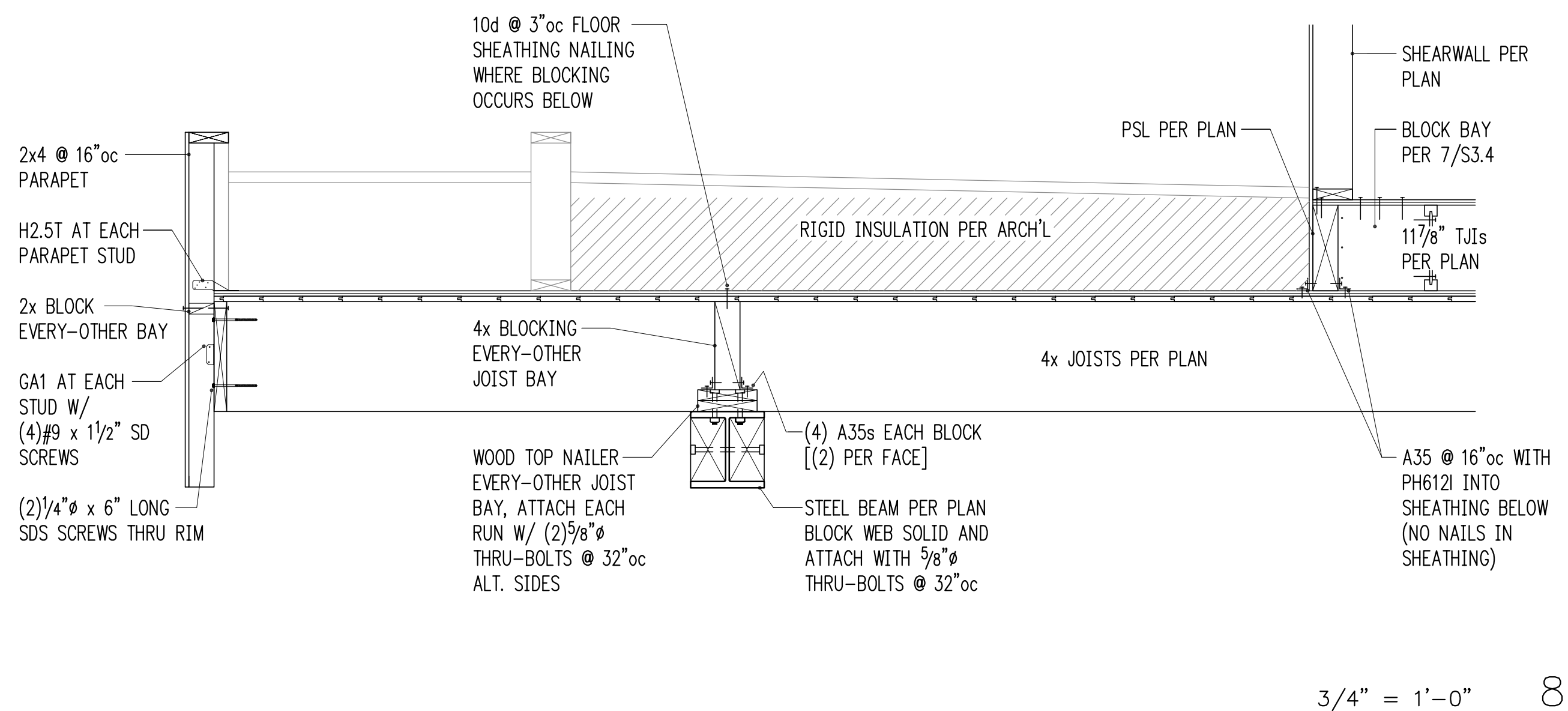
3/4" = 1'-0" 4



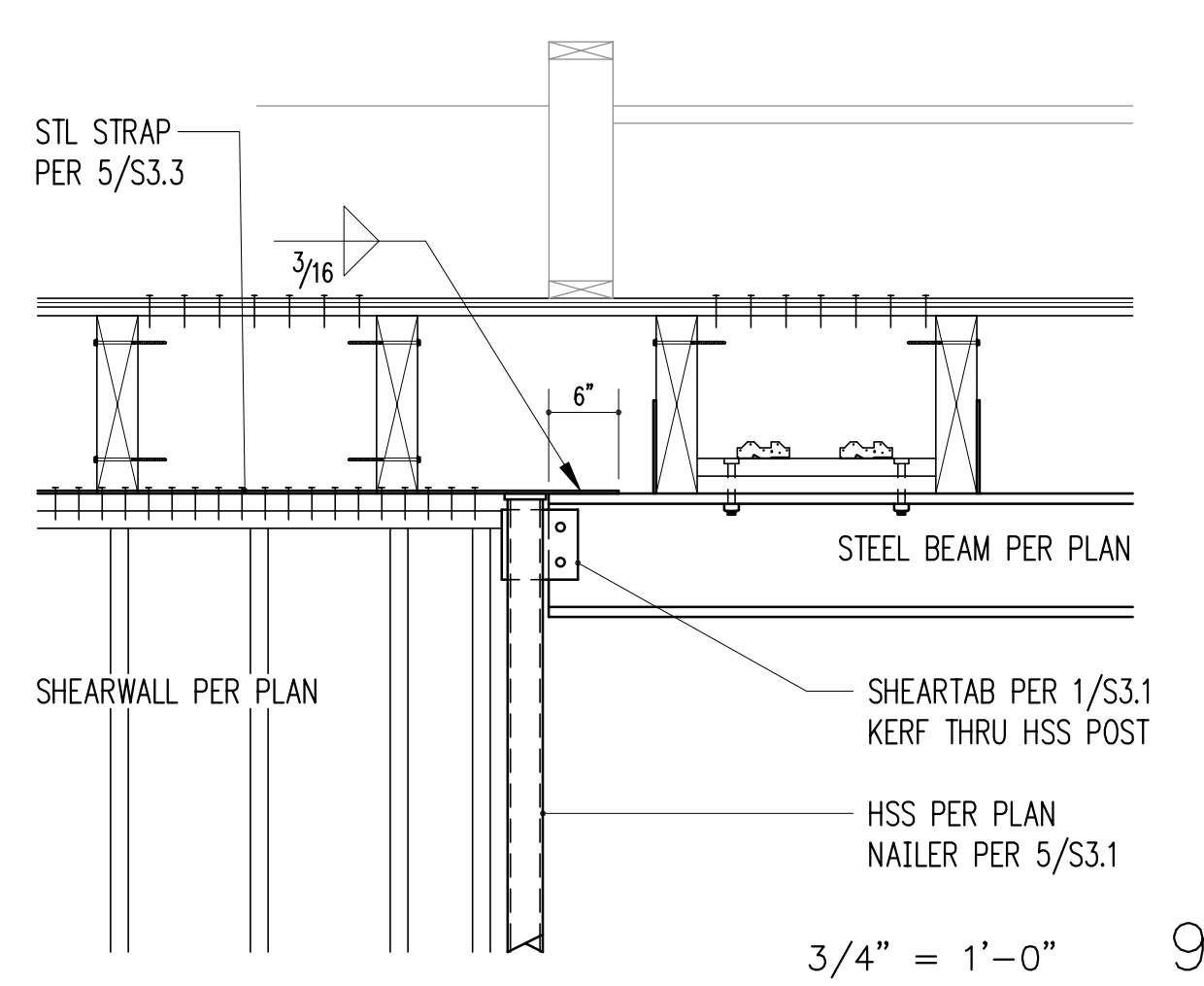
3/4" = 1'-0" 5



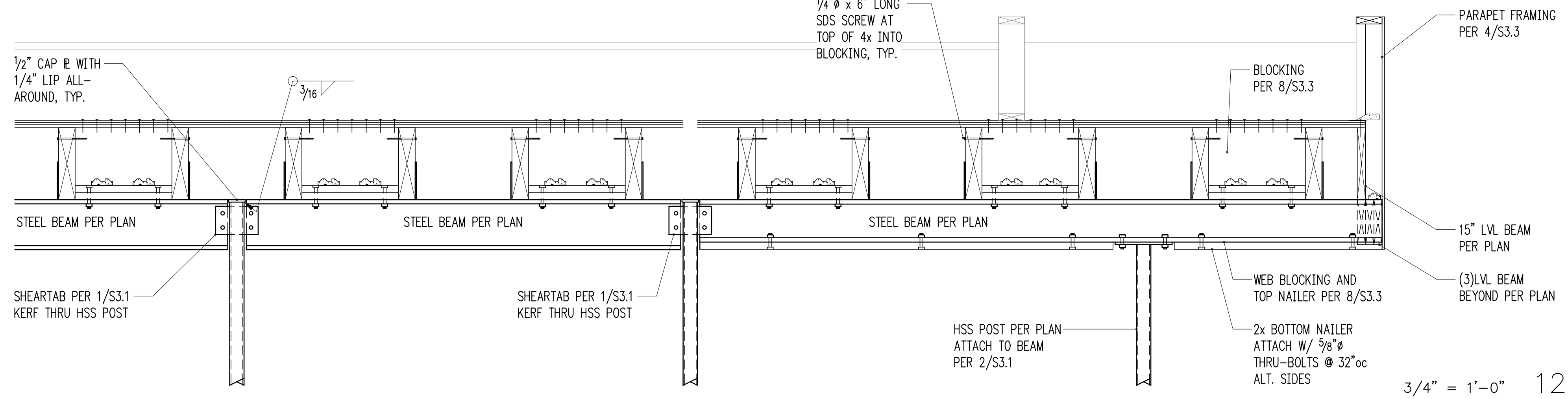
3/4" = 1'-0" 6



3/4" = 1'-0" 8



3/4" = 1'-0" 9



3/4" = 1'-0" 12

Issue Date	Issue Description
1/17/23	Permit
6/24/23	Building Revisions
8/7/23	Building Revisions(2)



3/4" = 1'-0" 1

3/4" = 1'-0" 2

TYPICAL STEPPED FOOTING  
3/4" = 1'-0" 3

3/4" = 1'-0" 4

3/4" = 1'-0" 5

3/4" = 1'-0" 6

3/4" = 1'-0" 7

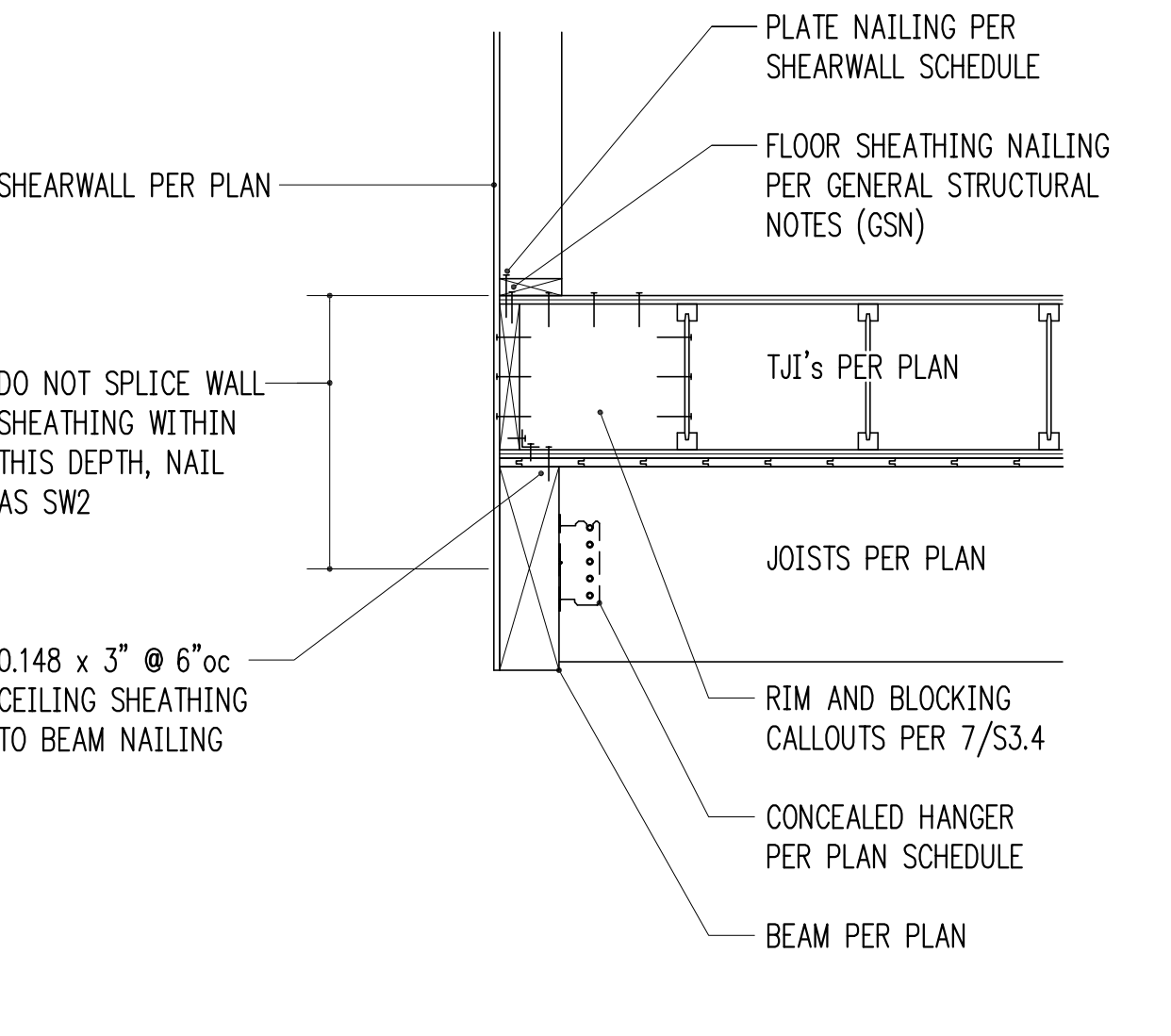
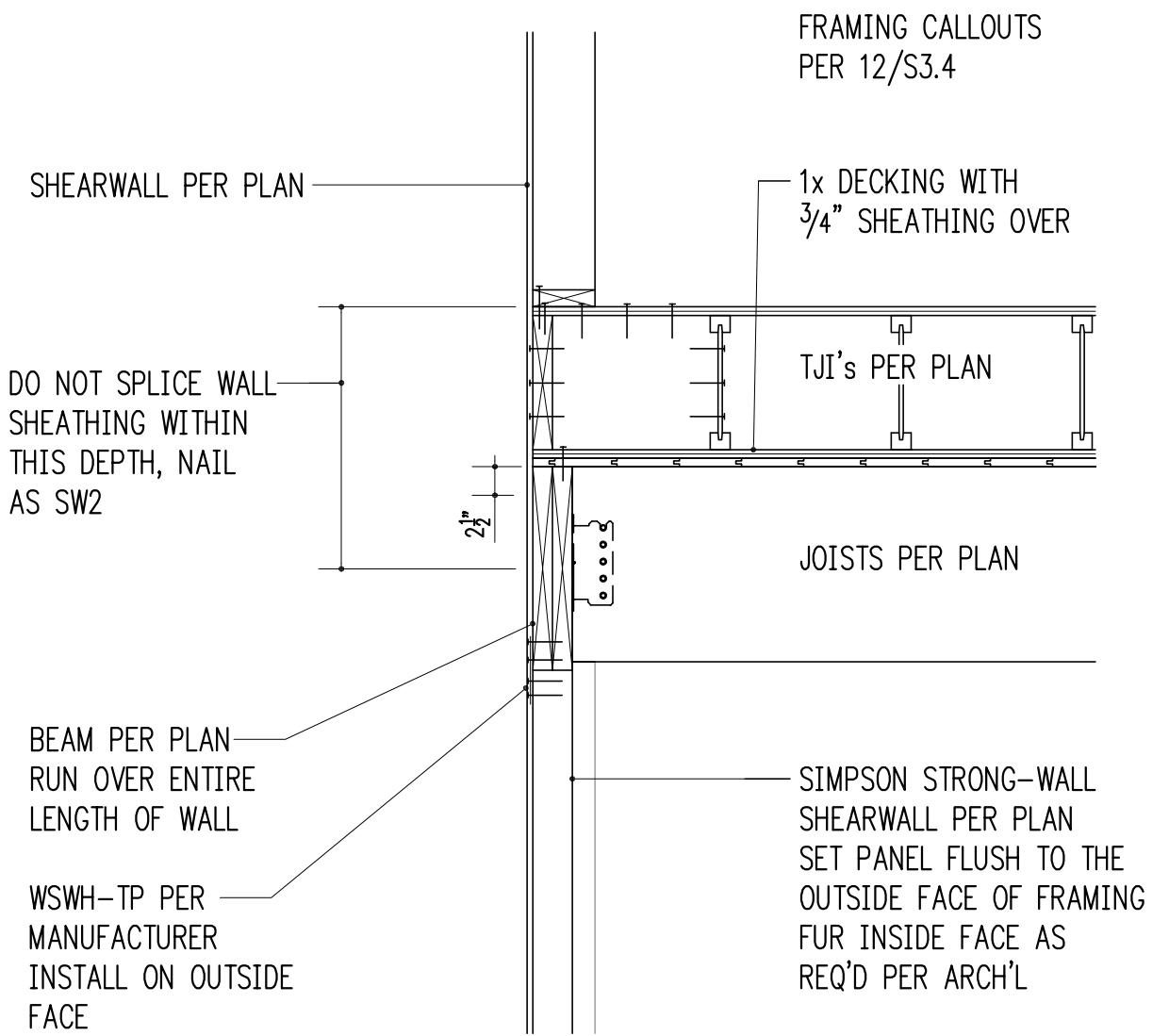
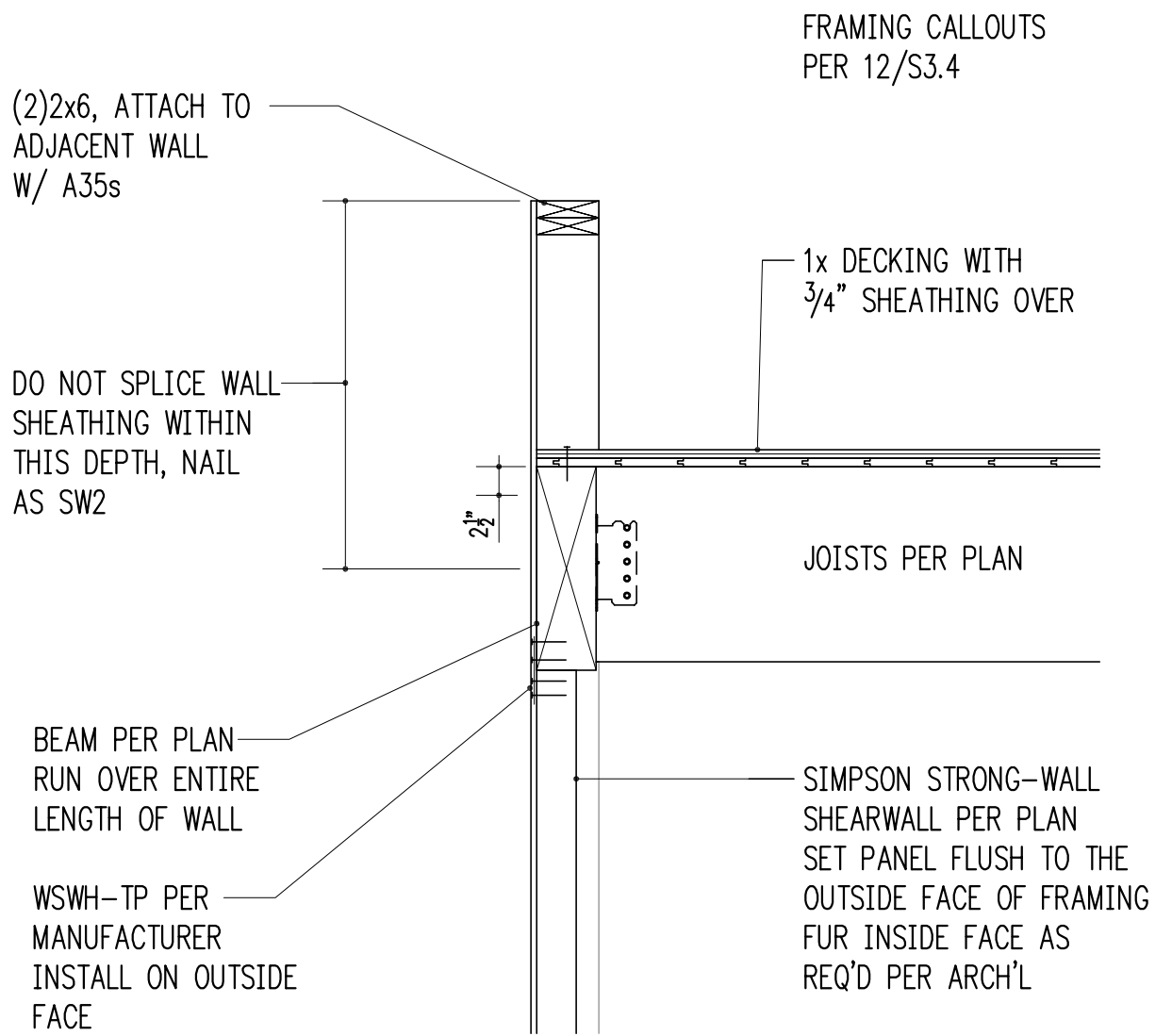
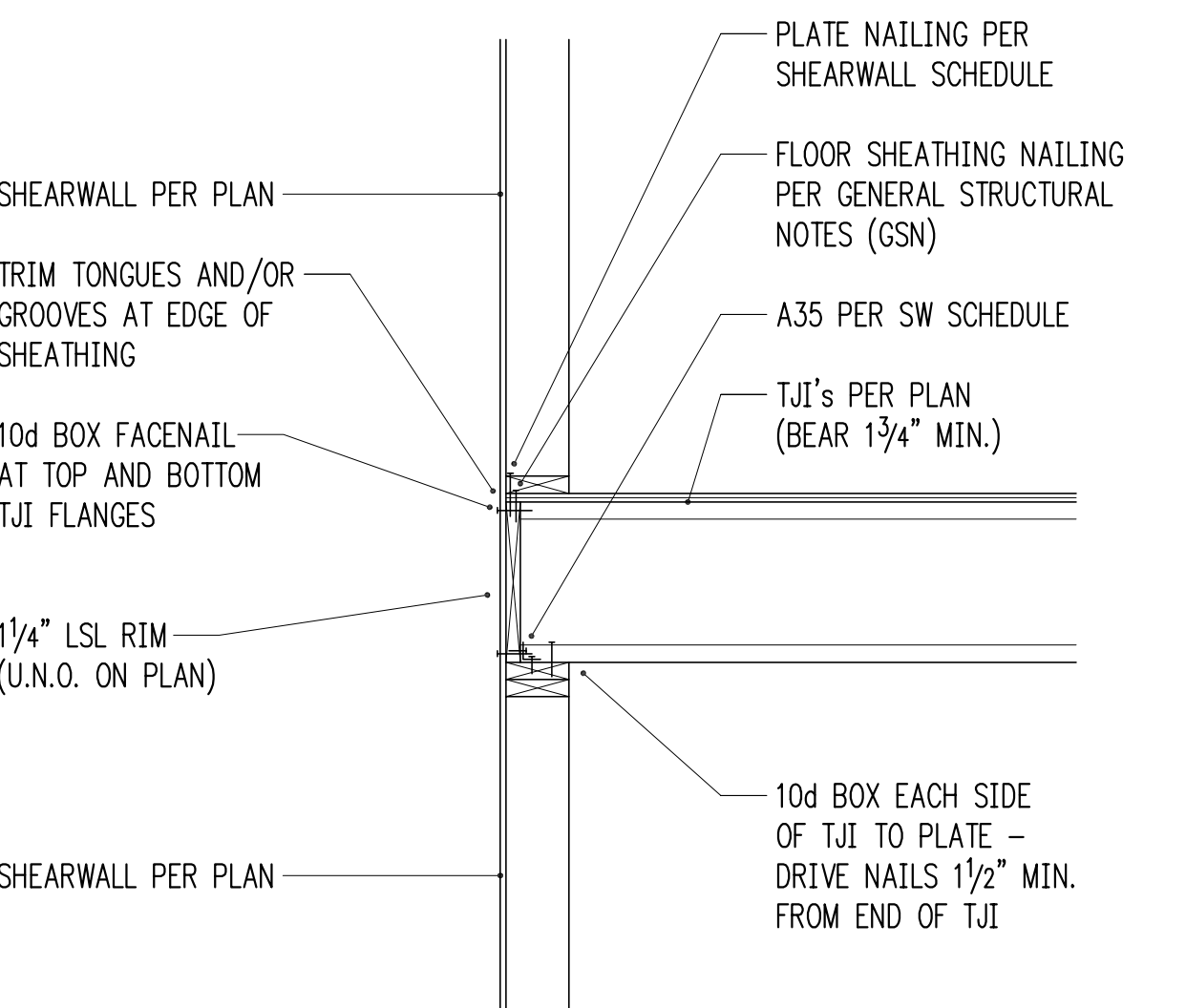
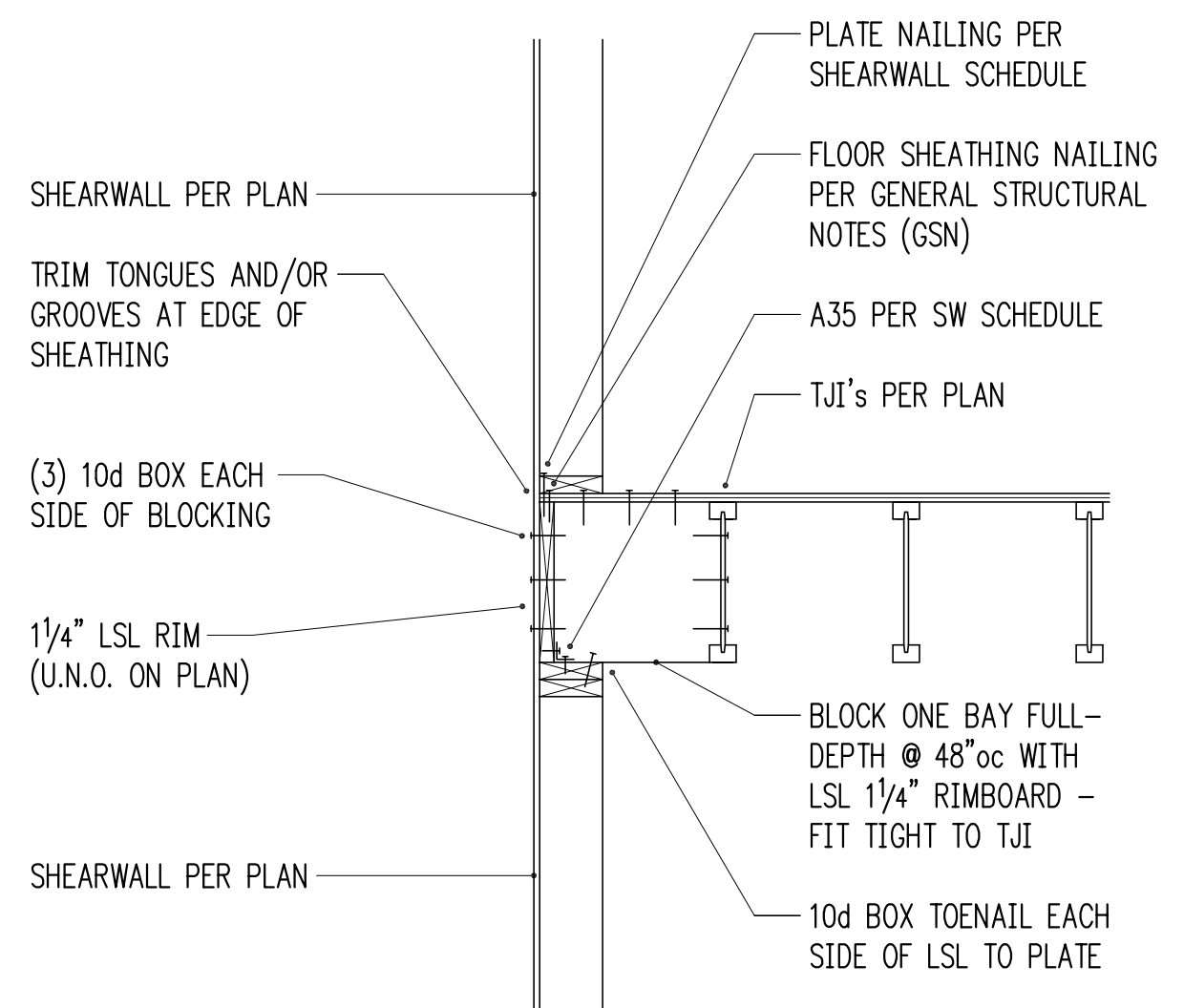
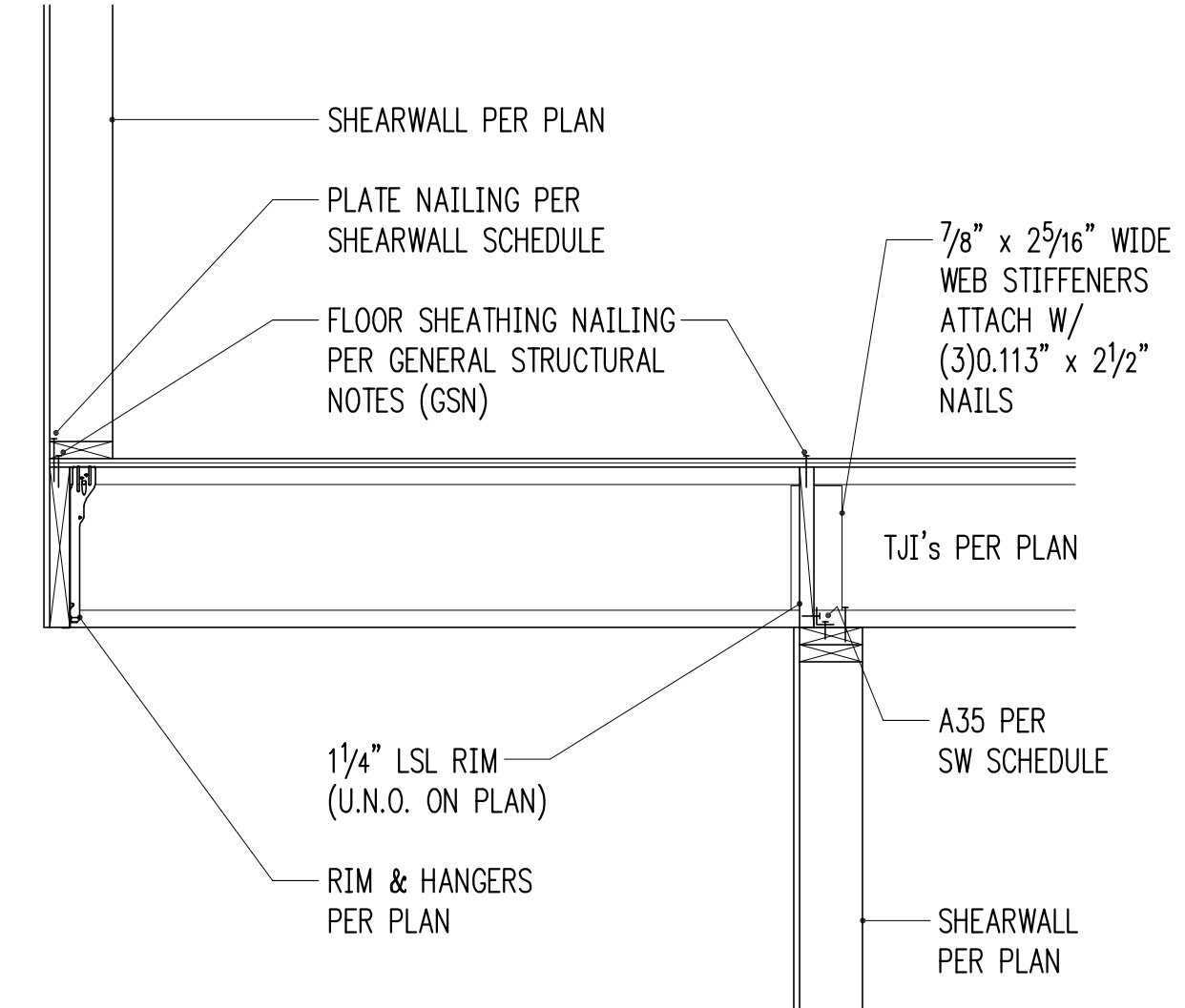
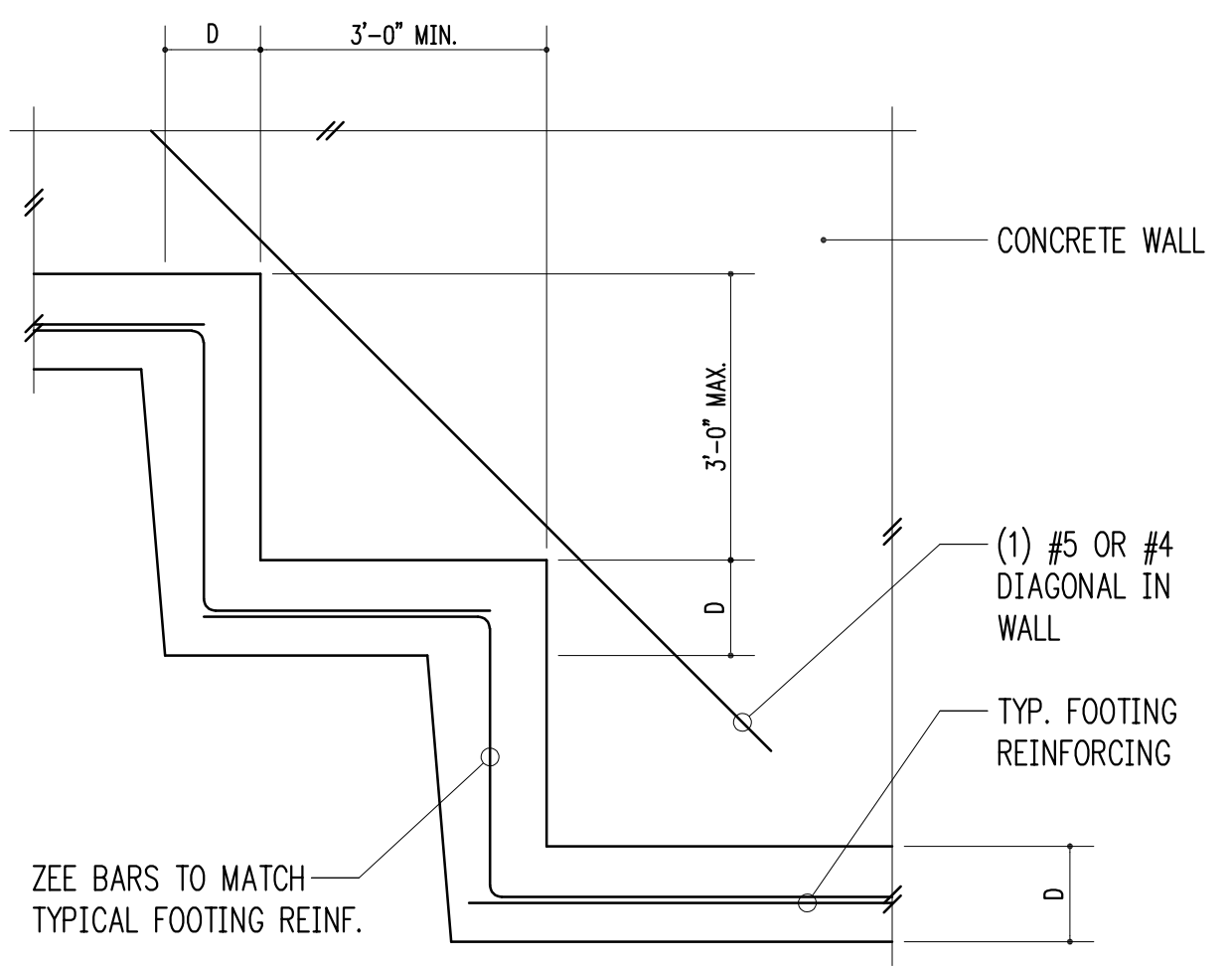
3/4" = 1'-0" 8

3/4" = 1'-0" 9

3/4" = 1'-0" 10

3/4" = 1'-0" 11

3/4" = 1'-0" 12



Issue Date	Issue Description
1/17/23	Permit
6/24/23	Building Revisions
8/7/23	Building Revisions(2)